

## CHAPTER 9

### SIGNS:

#### SECTION:

- 8-9-1: General Provisions
- 8-9-2: Signs not Allowed
- 8-9-3: Heritage Signs
- 8-9-4: Temporary Signs
- 8-9-5: Signs Allowed without a Permit
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- 8-9-7: Signs Requiring a Permit
- 8-9-8: Sign Types and Standards
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#### **8-9-1: GENERAL PROVISIONS**

**A. PURPOSE:** The purpose of this chapter is to provide comprehensive regulations for signs within Teton County and to eliminate confusing, distracting, and unsafe signs while assuring the reasonably efficient transfer of information and enhancing the visual environment of the County. It is declared that the regulation of signs within Teton County is necessary and in the public interest and also relates to the following goals:

- i. To provide a pleasing overall environmental setting and community appearance which is deemed vital to tourism and the continued economic attractiveness of the County;
- ii. To improve the legibility and effectiveness of signs;
- iii. To allow signs appropriate to the planned character of each zoning district;
- iv. To promote the public safety, welfare, convenience, and enjoyment of the unique rural character of the County;

**B. APPLICABILITY:** No sign may be erected, altered, refurbished or otherwise modified after the effective date of this Code except in accordance with the requirements of this Chapter.

#### **C. SIGN PERMIT REQUIRED**

- i. All sign types described in 8-9-7 require a sign permit before they may be installed, constructed, reconstructed, altered, or relocated. Signs described in 8-9-5 do not require a sign permit, but must follow applicable standards.

- ii. The following alteration and maintenance activities do not require a sign permit:
  - a. Painting, cleaning, or other normal maintenance and repair of a sign, provided that no change is made to any structural or electronic component of the sign.
  - b. Changing the message of an existing changeable copy of sign, provided that no change is made to any structural or electronic component of the sign.
- iii. Any sign that encroaches upon or over a public right-of-way requires an encroachment permit.

#### **D. PERMIT APPLICATION PROCESS**

- i. All sign applications shall be submitted to and reviewed by Teton County for compliance with this Chapter. A sign application must include the appropriate fee plus the following items:
- ii. A completed application using the form supplied by the County;
- iii. For building signs: A building elevation drawn to scale which specifies the location of the proposed new sign, as well as the location and size of any other sign of the same type on the building;
- iv. For freestanding signs, portable signs, and entry feature signs: A site plan drawn to scale which specifies the location of the new sign structure with respect to adjacent structures and property lines;
- v. A scaled drawing of the sign including dimensions of all sign faces, descriptions and colors of materials to be used for sign faces and support structures, including detailed specifications for any footers, posts, and hardware, and a detailed sign lighting plan which clearly indicates the location, type, and illumination strength (lumens) of all sign lighting fixtures;
- vi. Tenants of buildings with multiple occupants must include a copy of the approved overall sign plan and indicate how their proposed sign(s) fit(s) into the approved plan. If the new sign does not conform with the approved sign plan, then the applicant must include an amended sign plan with the building owner's signature;
- vii. Any other information deemed necessary by the Administrator.

#### **E. NONCONFORMING SIGNS**

- i. All nonconforming signs in existence before the effective date of this Code may continue to be used provided they are maintained in a safe manner and are kept in good repair. Minor repair and maintenance of a nonconforming sign is allowed.

- ii. Nonconforming signs may stay in place until one of the following occurs (except to bring the sign out if its nonconforming condition and into compliance with the requirements of this Chapter):
  - a. The sign has damage exceeding 50% of its value immediately prior to the event causing the damage or destruction;
  - b. The deterioration of the sign makes it a hazard;
- iii. The Administrator will not approve a permit for a nonconforming sign to be:
  - a. Relocated in any manner;
  - b. Structurally altered; or
  - c. For more than 50% of the sign face to be permanently altered.
- iv. For the purpose of this Chapter, structural alteration of sign modifies the sign dimensions, height, lighting, or support structure.
- v. If determined by the Planning Administrator that a nonconforming sign meets the criteria of 8-9-1(E-ii), the Planning Administrator will give the owner 30 working days written notice to bring the sign into conformance or the sign will be removed at the owner's expense. In the case where winter weather conditions hinder the removal of said sign, the Planning Administrator will issue a follow up date for the sign to be removed by.
- vi. Temporary signs (including sidewalk signs) cannot be considered nonconforming and are subject to the requirements of this Chapter on or after the effective date of this Code.

## **F. LOCATION**

- i. No sign, other than signs placed by agencies of government or a sign whose placement is authorized by such agencies, may be erected or placed on public property, including streets and the public right of way.
- ii. No sign shall be located so as to conflict with the clear and obvious appearance of public devices controlling traffic or so as to impede clear vision between a height of three feet and ten feet above the centerline grades of intersecting streets through the area created by drawing an imaginary line between points 30 feet back from where the curb lines of the intersection meet nor shall a sign obstruct the free use, of any public right-of-way, intersection, ingress or egress point, transit stop, parking space, drive aisle, driveway, sidewalk, building entrance, fire escape, or accessibility ramp.
- iii. No sign may be placed so as to obstruct any door.

- iv. Signs must be located so that they do not cover architectural features of a building or structure, including, but not limited to, transoms, insignias, or any other architectural feature.
- v. Signs cannot be painted on or attached to a telephone or utility pole, tree, or traffic sign.

#### **G. CONSTRUCTION**

- i. Signs must be constructed of permanent materials and be permanently affixed to the ground or a structure, except for allowed temporary signs (including sidewalk signs).
- ii. If a raceway is necessary, it must not extend in width or height beyond the area of the sign. A raceway must be finished to match the background surface to which it is attached, or integrated into the overall design of the sign.
- iii. Signs that have structural components exceeding 6 feet in height must obtain a Building Permit when they obtain a Sign Permit. The structure will be subject to a plan review as well as any inspections required by the Building Official and appropriate fees applied.

#### **H. MAINTENANCE**

- i. Signs must be maintained in good condition at all times and must be kept free of cracked or peeling paint, or missing or damaged components.
- ii. The Planning Administrator may cause to be removed after due notice any sign which shows gross neglect, becomes dilapidated.
- iii. The Planning Administrator will give the owner 10 working days written notice to correct the deficiencies or to remove the sign or signs. If the owner refuses to correct the deficiencies or remove the sign, the Planning Administrator will have the sign removed at the owner's expense.

#### **I. Multi-Tenant Building and Multi-Business Complexes**

- i. A sign plan is required for all multi-tenant buildings and multi-business complexes. The plan must indicate the size and location of all projecting, wall, freestanding, directory, and other signs. Individual tenants of a multi-tenant building or multi-business complex must subsequently receive permits for their individual signs which must conform to the overall sign plan.

#### **8-9-2: SIGNS NOT ALLOWED:**

All signs not expressly allowed by this Chapter are deemed not allowed. Signs not allowed include, but are not limited to, the following.

- i. Rotating, moving, or animated signs involving motion or sound, except for clocks.
- ii. Any sign with audio speakers or any form of pyrotechnics.
- iii. Flashing, blinking, or varying light intensity signs.
- iv. Signs that have a scrolling, flashing, or moving message, except those signs constructed by a governmental entity.
- v. Signs that contain or are an imitation of an official traffic sign or signal or other government sign.
- vi. Any reflective or mirrored sign.
- vii. Streamers.
- viii. Inflatable signs, including but not limited to balloons, gas inflated signs, or similar inflated devices.
- ix. Search lights and beacons.
- x. Outdoor image projections (signs projected from an external light source onto a building or structure) or any other similar devices.
- xi. Any sign attached to the roof of a building.
- xii. Any abandoned signs.

**xiii. 8-9-3: HERITAGE SIGNS**

A sign having historical significance, and which advertises an establishment or product no longer in existence or a product no longer being offered, may be designated as a heritage sign.

In order for a sign to be designated a heritage sign, the Planning and Zoning Commission must make written findings that the sign is at least 50 years old, and meets at least one of the following criteria:

- i. The sign has historic character, interest, or value as part of the development, heritage, or cultural characteristics of Teton County.
- ii. The sign is significant as evidence of the history of the product, business, or service advertised.
- iii. The sign embodies elements of design, detailing, materials, or craftsmanship that make it significant or innovative.
- iv. The sign has a unique location or contains singular physical characteristics that make it an established or familiar visual feature within the community.

**8-9-4: TEMPORARY SIGNS**

The following temporary signs do not require a sign permit but must follow applicable standards.

- i. Temporary signs must be located on private property with the property owner’s consent.
- ii. Temporary signs cannot be located within the public right-of-way.
- iii. Temporary signs cannot be illuminated.
- iv. Specific requirements for temporary signs are listed below.
- v. No premises may display more than 4 temporary signs per year.
- vi. Temporary signs shall have the first date of display affixed to the sign (front or back) at the beginning of each 14 day period

Zoning District	Duration	Size (max)
A-2.5, A-20, R-1, R-2	Allowed 14 days	8 sf per allowed sign
C-1, C-2, C-3, M-1	Allowed 14 days	8 sf per allowed sign

**8-9-5: SIGNS ALLOWED WITHOUT A PERMIT**

The following signs are allowed and are exempt from 8-9-7 but must follow applicable standards.

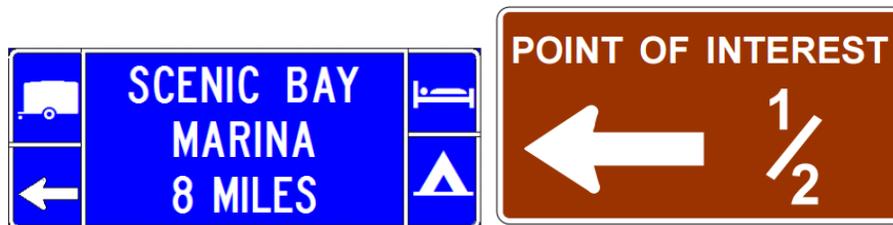
- i. All signs erected in a public right of way by a public agency.
- ii. Official notices issued by any court, public agency, or officer.
- iii. Flags.
  - a. A maximum of 2 flags are allowed per street frontage.
  - b. An individual flag cannot exceed 30 square feet in area.
  - c. The maximum height of a flagpole is 30 feet, measured from the highest point of the flagpole.
- iv. Signs designated by the Planning and Zoning Commission as being Heritage Signs;
- v. A sign installed inside a window for the purposes of viewing from outside the premises. Such signs cannot exceed 10% of the total window area;

- vi. Any government sign, meaning any sign put up by a government agency either required by law or in sponsorship of a government function (a building permit may still be required for the construction of these signs);
- vii. Any directional sign. Parking lot directional signs shall not project higher than 7 feet above the existing grade;
- viii. One Incidental sign per property that does not exceed 6 square feet and does not exceed 6 feet in height,
- ix. Any sign that replaces an equivalent sign within a multi-tenant freestanding sign, so long as it complies with the overall multi-tenant sign plan.

**8-9-6: SIGNS ALONG STATE HIGHWAYS AND SKI HILL ROAD**

The following regulations apply to signs along State Highways 31, 32, and 33 and Ski Hill Road. The Teton Scenic Byway passes through Teton County. There are Federal regulations that control outdoor advertising along these byways (Title 23, Section 131 of the United States Code).

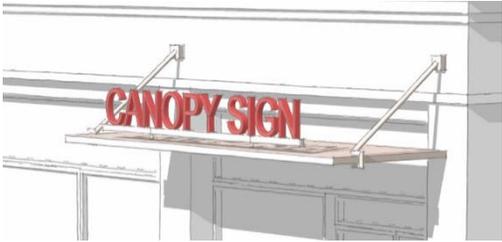
- i. Existing signs may remain in accordance with 8-9-1(E).
- ii. No new outdoor advertising signs shall be constructed within 650 feet of the right of way of these roads, which is visible from these roads.
- iii. Only State Approved Single Business Off-Premise Outdoor Advertising Signs, State Approved Multi-Business Signs, State Approved Point of Interest Signs, and State Approved Tourist Oriented Directional Signs are permitted. These are signs that meet State of Idaho Transportation Department dimensional and design standards, are located in the state highway right-of-way, approved by ITD, and must be supplied/installed by ITD. Teton County should be notified when an application is made to ITD.



**8-9-7: SIGNS REQUIRING A PERMIT**

**A. SIGN TYPES:**

The following signs are allowed following the issuance of a sign permit.

Sign Descriptions	
Specific Sign Types	Illustration
<b>Building Signs</b>	
<p>Wall Sign. A building sign applied to or attached to the outside wall or surface of a building or structure, the display surface of which does not project more than 1 foot from the outside wall of the building or structure.</p>	
<p>Awning Sign. A building sign where graphics or symbols are painted, sewn, or otherwise adhered to the awning valance material as an integrated part of the awning itself.</p>	
<p>Canopy Sign. A building sign attached to a canopy so that the display surface is parallel to the plane of the front building facade.</p>	
<p>Projecting Sign. A building sign attached to the outside wall or surface of a building or structure at a 90-degree angle, extending more than 1 foot from the outside wall of the building or structure.</p>	
<p>Hanging Sign. A building sign attached to the underside of a beam or ceiling of a porch, gallery or similar covered area.</p>	

Sign Descriptions	
Specific Sign Types	Illustration
Freestanding Signs	
<p>Monument Sign. A freestanding sign which is wholly independent of a building for support attached to the ground along its entire width to a continuous pedestal.</p>	
<p>Double Post Sign. A freestanding sign where the primary support is supplied by two posts positioned no more than 2 inches from the outer edge of the sign face.</p>	
<p>Single Post Sign. A freestanding sign where the primary support is supplied by a single post and where the sign hangs from a bracket or support.</p>	
Other	
<p>Entry Feature Sign. A sign permanently affixed to the ground which is wholly independent of a building for support, is located at the entry of a subdivision, and is approved with the subdivision.</p>	
<p>Sidewalk Sign. A movable sign not secured or attached to the ground or surface upon which it is located.</p>	

**B. SIGN TYPES ALLOWED BY ZONING DISTRICT**

Signs are allowed by district. Specific requirements for each sign are shown on the following pages.

	A-2.5	A-20	R-1	R-2	C-1	C-2	C-3	M-1
Building Signs								
Wall Sign	--	--	--	--	P	P	P	P
Awning Sign	--	--	--	--	P	P	P	P
Canopy Sign	--	--	--	--	P	P	P	P
Projecting Sign	--	--	--	--	P	P	P	P
Hanging Sign	--	--	--	--	P	P	P	P
Freestanding Signs								
Monument Sign	--	--	--	--	P	P	P	P
Double Post Sign	P	P	P	P	P	P	P	P
Single Post Sign	P	P	P	P	P	P	P	P
Other Signs								
Entry Feature Sign	P	P	P	P	P	P	P	P
Sidewalk Sign	--	--	--	--	P	P	P	P
P = sign type allowed    -- = sign type not allowed								

- a. The maximum total sign area may be allocated among the permitted signs in each district, provided that each sign conforms to the applicable regulations of the district in which the sign is located and the applicable regulations for the sign type.
- b. In no case may the total area of all signs on a particular site exceed the maximum total sign area given for a site in a particular zoning district.
- c. Heritage signs do not count toward the maximum total sign area or the maximum number of permitted signs.

**C. ALLOCATION OF SIGN AREA**

- a. The maximum sign area for each sign type is determined by district and is established below. There must be a building on the property to increase the size
- b. Building frontage is determined by measuring the total length of each street-facing building facade that runs approximately parallel with the street the sign is intended to be viewed from. Non street-facing building facades are not allocated sign area, however, sign area allocated to a street-facing building facade may be

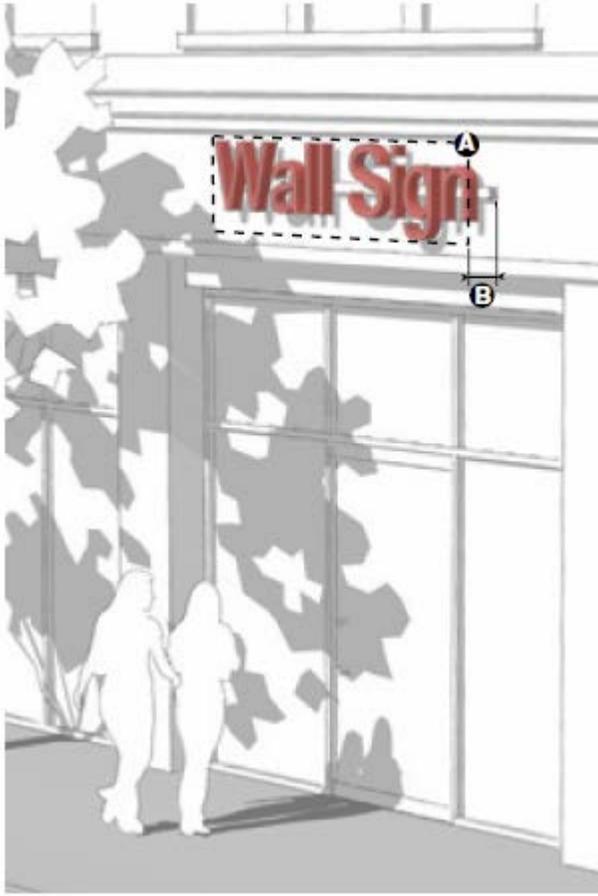
used on a non-street-facing building facade. Sign allocation from one street-facing building facade cannot be transferred to another street-facing building facade.

- c. Street frontage is that portion of a lot that abuts a public or private street. A lot that abuts one street has one street frontage, a lot that abuts 2 streets has 2 street frontages, a lot that abuts 3 streets has 3 street frontages, and a lot that abuts 4 streets has 4 street frontages.

**D. SIGN DESIGN STANDARDS FOR NON-TEMPORARY SIGNS**

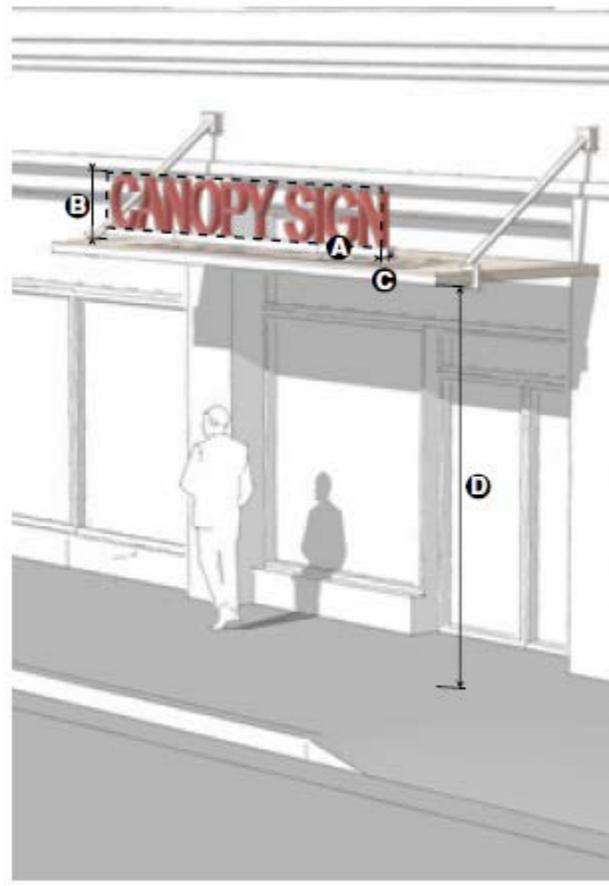
- a. All Zoning Districts
  - i. All signs shall be made of durable materials such as wood and metal or others deemed similar in appearance
- b. Rural and Residential Zoning Districts (A-2.5, A-20, R-1, R-2)
  - i. Signs shall feature muted colors consisting of warm earth tones
  - ii. No fluorescent colors or reflective surfaces shall be permitted

**8-9-8: SIGN TYPES AND STANDARDS**

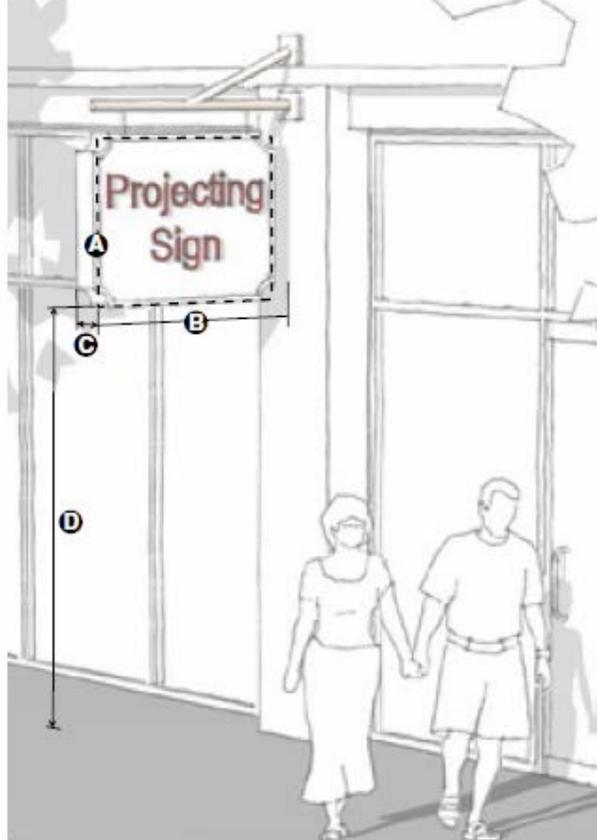
A. Wall Sign		
 		
Description	Dimensions	
<p>A building sign applied to or attached to the outside wall or surface of a building or structure, the display surface of which does not project more than 1 foot from the outside wall of the building or structure.</p>	<p>Allocation of sign area</p>	<p>see 8-9-7(C)</p>
General Provisions	Size	
<ul style="list-style-type: none"> <li>• A wall sign must be placed no higher than 18 feet above the sidewalk.</li> <li>• No portion of a wall sign may extend above the roof line or above a parapet wall of a building with a flat roof.</li> <li>• A wall sign cannot cover windows or architectural details.</li> <li>• A wall sign may be externally or internally illuminated in accordance with 8-9-8(L).</li> </ul>	<p>M-1</p> <p>Projection - measured from building facade</p>	<p>40 sf max</p> <p>1' max</p>
	Right of Way Encroachment	
	<p>May encroach over the public sidewalk but not over any public street or alley.</p>	

B. Awning Sign		
		
		
Description	Dimensions	
<p>A building sign where graphics or symbols are painted, sewn, or otherwise adhered to the awning valance material as an integrated part of the awning itself.</p>	Allocation of sign area	see 8-9-7(C)
General Provisions	Size	
<ul style="list-style-type: none"> <li>• An awning sign cannot extend outside the awning.</li> <li>• Only awnings over ground story doors or windows may contain signs.</li> <li>• One sign is allowed per awning. A sign may be on either the front or side valance (but no on both).</li> <li>• Signs are not allowed on the sloping face of an awning.</li> <li>• An awning sign cannot be illuminated.</li> </ul>	M-1	20 sf max
	Height	1' max
	Right of Way Encroachment	
	<p>May encroach over public sidewalk but not over a public street or alley. Sign must be a minimum of 2 feet inside the curb line or edge of pavement, whichever is greater.</p>	

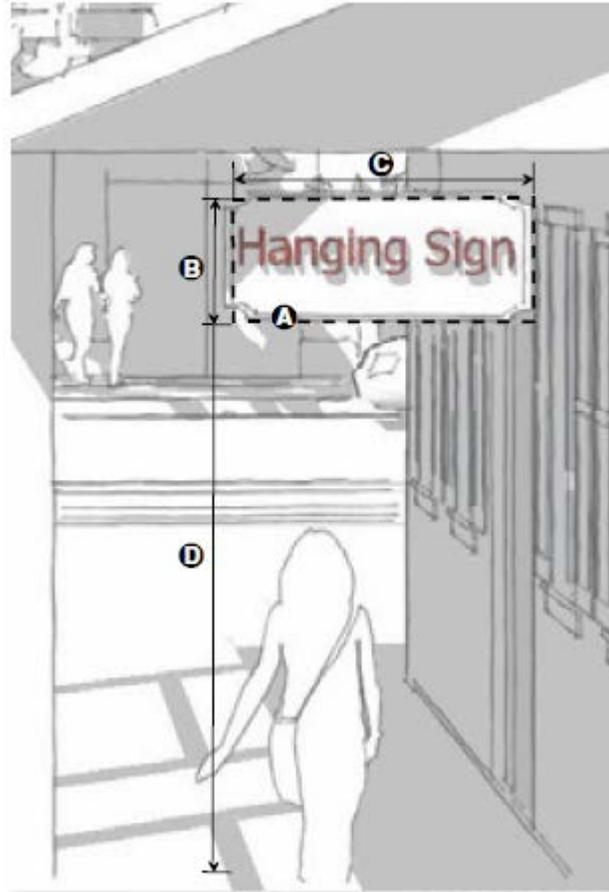
**C. Canopy Sign**



Description	Dimensions		
A building sign attached to a canopy so that the display surface is parallel to the plane of the front building facade.	Allocation of sign area	see 8-9-7(C)	
General Provisions	Size		
<ul style="list-style-type: none"> <li>• A canopy sign cannot extend outside the overall length or width of the canopy. However, a canopy sign may extend above or below the canopy.</li> <li>• A maximum of one sign is allowed per canopy.</li> <li>• A canopy sign may be externally or internally illuminated in accordance with 8-9-8(L).</li> </ul>	M-1	32 sf max	
	Height	2' max	
	Depth	1' max	
	Clear height		
	above sidewalk	9' min	14' min
Right of Way Encroachment			
May encroach over public sidewalk but not over a public street or alley. Sign must be a minimum of 2 feet inside the curb line or edge of pavement, whichever is greater.			

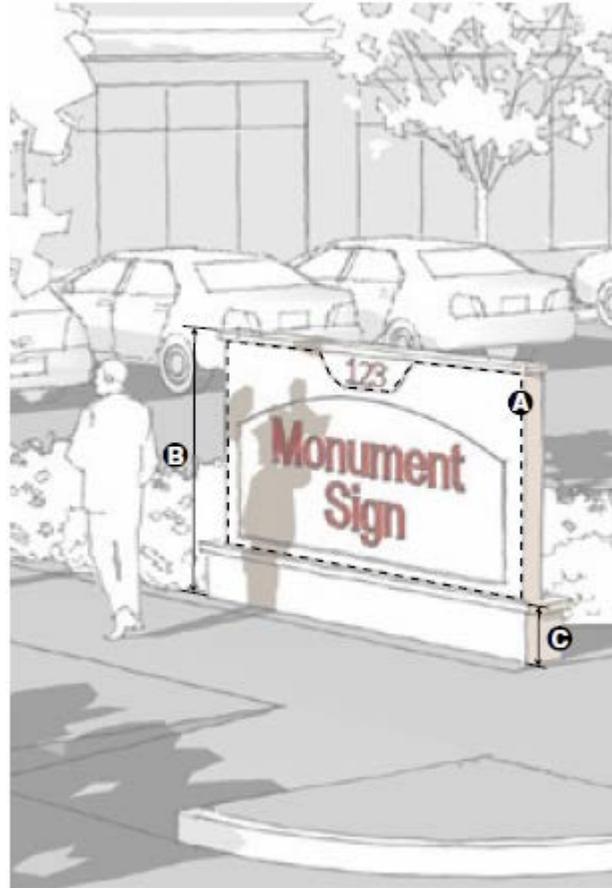
<b>D. Projecting Sign</b>		
		
<b>Description</b>	<b>Dimensions</b>	
A building sign attached to the outside wall or surface of a building or structure at a 90-degree angle, extending more than 1 foot from the outside wall of the building or structure.	Allocation of sign area	see 8-9-7(C)
<b>General Provisions</b>	<b>Size</b>	
<ul style="list-style-type: none"> <li>• A projecting sign must be located below the window sills of the second story on a multi-story building or below the roof line on a single-story building.</li> <li>• Only one projecting sign is allowed per tenant per street frontage.</li> <li>• A projecting sign may be erected on a building corner when the building corner adjoins the intersection of two streets. Allocation of sign area from both frontages may be used.</li> <li>• A projecting sign may only be externally illuminated in accordance with 8-9-8(L).</li> </ul>	M-1	20 sf max
	Projection - measured from building facade	4' max
	Width	1' max
	Clear height	
	above sidewalk	9' min
	above parking area or driveway	14 min'
	<b>Right of Way Encroachment</b>	May encroach over public sidewalk but not over a public street or alley. Sign must be a minimum of 2 feet inside the curb line or edge of pavement, whichever is greater.

**E. Hanging Sign**



Description	Dimensions	
A building sign attached to the underside of a beam or ceiling of a porch, gallery or similar covered area.	Allocation of sign area	see 8-9-7(C)
General Provisions	Size	3 sf max
<ul style="list-style-type: none"> <li>A hanging sign must be located within 5 feet of an accessible building entrance.</li> <li>A hanging sign cannot be illuminated.</li> </ul>	Height	2' max
	Width	3' max
	Clear height	
	above sidewalk	9' min
	above parking area or driveway	14 min'
	Right of Way Encroachment	
	May encroach over public sidewalk but not over a public street or alley. Sign must be a minimum of 2 feet inside the curb line or edge of pavement, whichever is greater.	

**F. Monument Sign**



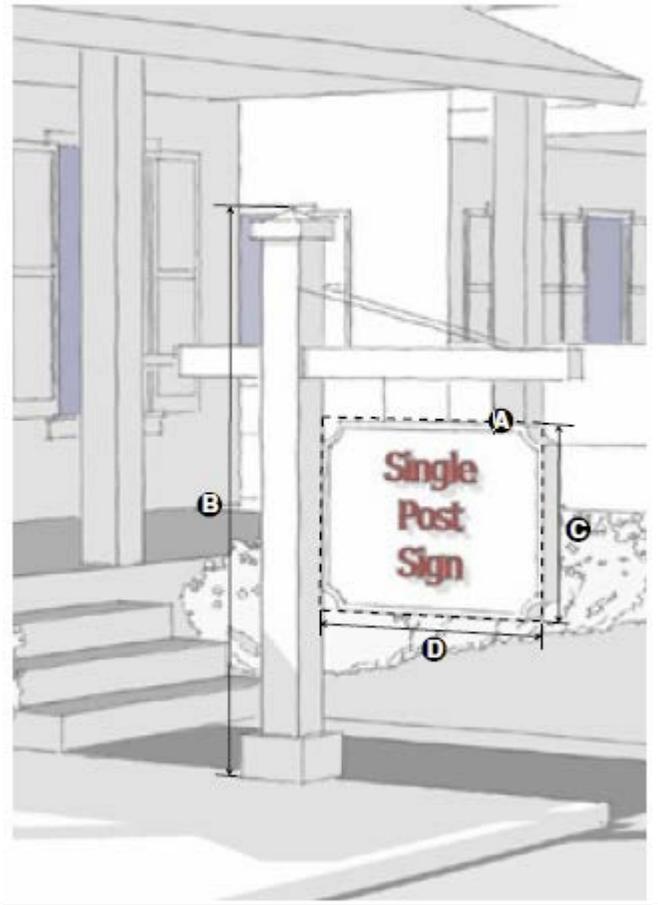
Description	Dimensions	
A freestanding sign which is wholly independent of a building for support attached to the ground along its entire width to a continuous pedestal.	Allocation of sign area	see below
General Provisions	Size (by number of tenants)	
<ul style="list-style-type: none"> <li>Only one freestanding sign is allowed per street frontage, except that one additional freestanding sign is allowed for properties with 500 feet or more of street frontage.</li> </ul>	1 tenant	24 sf max
	2 to 3 tenants	32 sf max
	5 or more tenants	40 sf max
<ul style="list-style-type: none"> <li>Monument signs must display the street address of the property. If the area of the address is 5 square feet or less, the area does not count towards the allocation of sign area.</li> </ul>	Height	
	M-1	10' max
<ul style="list-style-type: none"> <li>A monument sign must be set back at least 10 feet from the primary or side street lot line and 15 feet from a side lot line.</li> </ul>	Base height	
	M-1	2' min
<ul style="list-style-type: none"> <li>A monument sign may be externally or internally illuminated in accordance with 8-9-8(L).</li> </ul>	Right of Way Encroachment	
	Not allowed.	

**G. Double Post Sign**

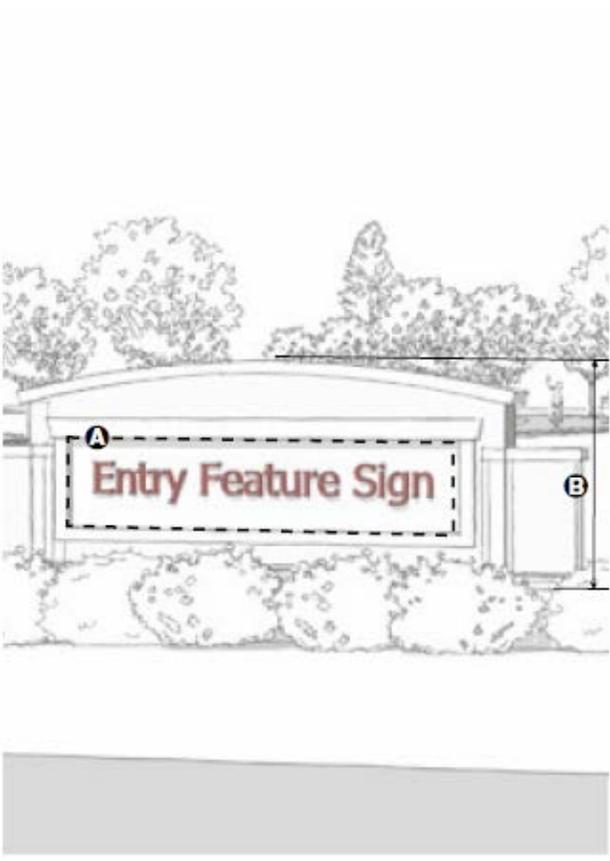


Description	Dimensions	
A freestanding sign where the primary support is supplied by two posts positioned no more than 2 inches from the outer edge of the sign face.	Allocation of sign area	see below
General Provisions	Size	16 sf max
<ul style="list-style-type: none"> <li>Only one freestanding sign is allowed per street frontage, except that one additional freestanding sign is allowed for properties with 500 feet or more of street frontage.</li> </ul>	Height	4' max
<ul style="list-style-type: none"> <li>A double post sign must be set back at least 10 feet from the front lot line and 15 feet from a side lot line.</li> </ul>	Right of Way Encroachment	
<ul style="list-style-type: none"> <li>A double post sign must display the street address of the property. If the area of the address is 5 square feet or less, the area does not count towards the allocation of sign area.</li> </ul>	Not allowed.	
<ul style="list-style-type: none"> <li>A double post sign may only be externally illuminated in accordance with 8-9-8(L).</li> </ul>		

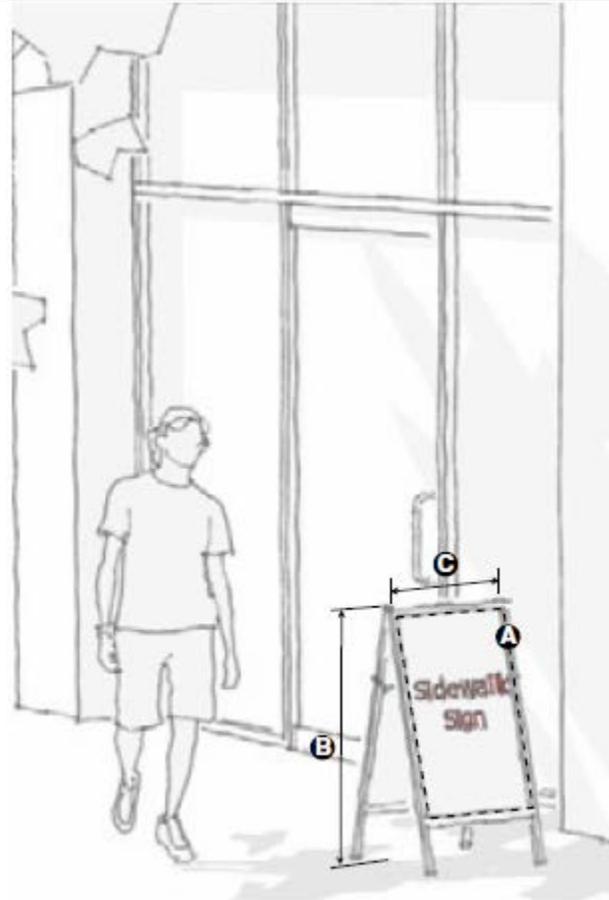
**H. Single Post Sign**



Description	Dimensions	
A freestanding sign where the primary support is supplied by a single post and where the sign hangs from a bracket or support.	Allocation of sign area	see below
<b>General Provisions</b>	Size	16 sf max
<ul style="list-style-type: none"> <li>The hanging bracket must be an integral part of the sign design.</li> </ul>	Height	6' max
<ul style="list-style-type: none"> <li>Only one freestanding sign is allowed per street frontage, except that one additional freestanding sign is allowed for properties with 500 feet or more of street frontage.</li> </ul>	Length	4' max
<ul style="list-style-type: none"> <li>A single post sign must be set back at least 10 feet from the front lot line and 10 feet from a side lot line.</li> </ul>	Width	4' max
<ul style="list-style-type: none"> <li>A single post sign may only be externally illuminated in accordance with 8-9-8(L).</li> </ul>	<b>Right of Way Encroachment</b>	
	Not allowed.	

I. Entry Feature Sign		
 		
Description	Dimensions	
A feature permanently affixed to the ground which is wholly independent of a building for support, is located at the entry of a subdivision and is approved with the subdivision.	Allocation of sign area	see below
General Provisions	Size	24 sf max
<ul style="list-style-type: none"> <li>• One entry feature sign is allowed per street frontage.</li> <li>• An entry feature sign must be set back at least 15 feet from the front property line and 15 feet from a side property line.</li> <li>• An entry feature sign may only be externally illuminated in accordance with 8-9-8(L).</li> </ul>	Height	8' max
	Right of Way Encroachment	
	Not allowed.	

**J. Sidewalk Sign**



Description	Dimensions	
A movable sign not secured or attached to the ground or surface upon which it is located.	Allocation of sign area	see below
General Provisions	Size	9 sf max
<ul style="list-style-type: none"> <li>Each ground floor tenant may have one sidewalk sign located adjacent to the primary facade with the principal customer entrance, or up to 8 feet from that facade.</li> </ul>	Height	4' max
	Width	3' max
<ul style="list-style-type: none"> <li>A sidewalk sign must be removed and placed indoors at the close of business each day.</li> <li>A sidewalk sign cannot obstruct vehicular, bicycle or pedestrian traffic and must comply with ADA clearance and accessibility. A minimum sidewalk clearance of 6 feet in width must be maintained.</li> <li>A sidewalk sign must have a locking arm or other device to stabilize the structure.</li> <li>A sidewalk sign cannot be illuminated.</li> </ul>	Right of Way Encroachment	
	<p>May encroach on a public sidewalk but not over a public street or alley. The sign cannot obstruct vehicular, bicycle or pedestrian traffic and it must comply with ADA clearance and accessibility. A minimum sidewalk clearance of 6 feet in width must be maintained.</p>	

## K. SIGN MEASUREMENTS

### a. Sign Area

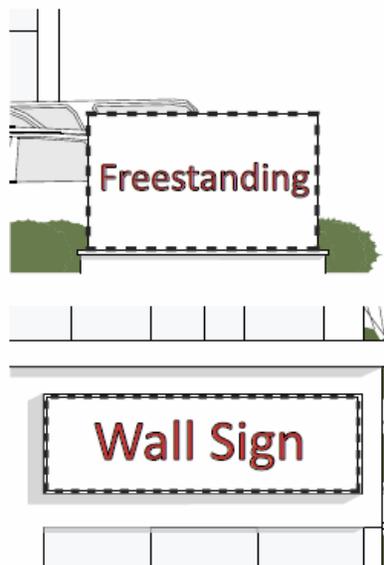
- i. Sign area includes the area of the smallest enclosing circle, half-circle, parallelogram, or triangle that encloses all of the letters, figures or symbols that comprise the sign message.



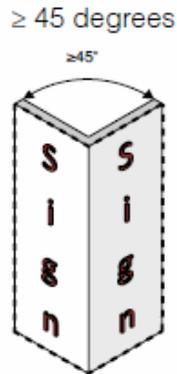
- ii. Irregular shapes are calculated by up to a maximum of 3 connected shapes.



- iii. For signs on a background, the entire area of the background is calculated as sign area, including any material or color forming the sign and the background used to differentiate the sign from the structure on which it is mounted.

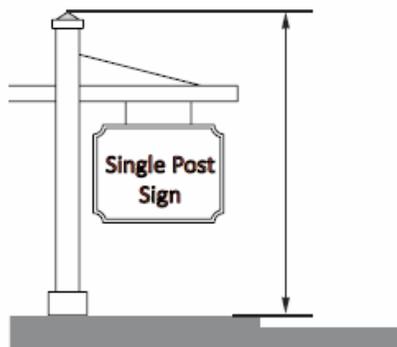


- iv. Sign area does not include any structure supporting the sign unless the support structure forms a part of the message being displayed.
- v. The area for a sign with more than one face is computed by adding together the area of all sign faces greater than 45 degrees; if the sign face angle is less than 45 degrees, only the area of the largest sign face is computed as part of the sign area.



**b. Sign Height**

- i. The total height of a ground sign is measured from the highest point of the sign or supporting structure to the finished grade directly below it.
- ii. The height may not be artificially increased by the use of mounding.



## L. ILLUMINATION

Illumination of signs must be in accordance with the following requirements.

### a. Illumination Permitted by Sign Type

	Internal	External
<b>Building Signs</b>		
Wall Sign	Allowed	Allowed
Awning Sign	Not allowed	Not allowed
Canopy Sign	Allowed	Allowed
Projecting Sign	Not allowed	Allowed
Hanging Sign	Not allowed	Not allowed
<b>Freestanding Signs</b>		
Monument Sign	Allowed	Allowed
Double Post Sign	Not allowed	Allowed
Single Post Sign	Not allowed	Allowed
<b>Other Signs</b>		
Entry Feature Sign	Not allowed	Allowed
Sidewalk Sign	Not allowed	Not allowed

### b. Prohibited Light Sources

- i. Blinking, flashing, and chasing.
- ii. Bare bulb illumination.
- iii. Colored lights used in any manner so as to be confused with or construed as traffic control devices.
- iv. Direct reflected light that creates a hazard to operators of motor vehicles.
- v. Lights that outline property lines, sales areas, roof lines, doors, windows, or similar area are not allowed, except for seasonal lighting.
- vi. Lamps that exceed a color temperature of 3200K.

### c. Externally Illuminated Signs

- i. An externally illuminated sign is characterized by the use of artificial light reflecting off its surface.

- ii. Illumination must be by top-mounted fixtures aimed downward, and they cannot exceed 200 lamp lumens per square foot of sign face.
- iii. Illumination shall be incorporated into the sign bracket when possible

d. Internally Illuminated Signs

- i. An internally illuminated sign is characterized by the use of artificial light projecting through its surface.
- ii. All lamps intended for internal illumination must be fully concealed from view.
- iii. Internal illumination cannot exceed 300 lamp lumens per square foot of sign area.
- iv. For internally illuminated signs on a background, no more than 50% of the sign area may be composed of lighter-colored surfaces (white, off-white, gray, cream, or pale shades of other colors), as opposed to opaque, darker-colored, or back-lit surfaces.
- v. Exposed neon is not allowed, except one window sign stating “open” that is not greater than 5 square feet in area and does not exceed 30% of the window area, limited to one per establishment.

e. Illumination Curfew

- i. The illumination of signs is prohibited between the hours of 11 p.m. or the time of closing of the related business, whichever is later, and 30 minutes prior to the time of reopening,

**M. CHANGEABLE COPY**

a. Types of Changeable Copy

i. Manual Changeable Copy

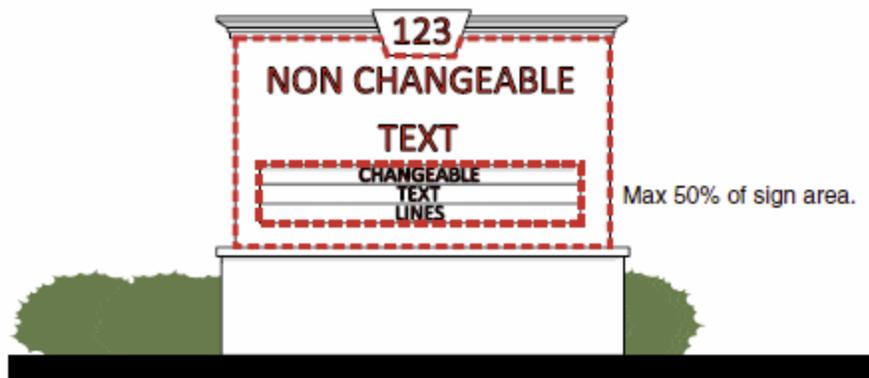
- 1. A sign or portion of a sign that has a reader board for the display of text information in which each alphanumeric character, graphic or symbol is defined by objects, not consisting of an illumination device and is changed or re-arranged manually or mechanically with characters, letters, or illustrations that may be changed or rearranged without altering the face or the surface of the sign, such as a marquee sign.

ii. Digital Changeable Copy

1. A sign or portion of a sign that displays electronic, non-pictorial, text information in which each alphanumeric character, graphic, or symbol is defined by a small number of matrix elements using different combinations of light emitting diodes (LED's), fiber optics, light bulbs or other illumination devices within the sign.

b. Signs Allowing Manual Changeable Copy

- i. Manual changeable copy is allowed in conjunction with an allowed wall or monument sign provided the changeable copy portion is no greater than 50% of the sign area.



c. Signs Allowing Digital Changeable Copy

- i. Digital changeable copy is allowed in conjunction with an allowed wall or monument sign.
- ii. Digital changeable copy is not allowed in Scenic Corridor Design Review Overlay.
- iii. Any image or message or portion of the image or message must have a static display for minimum duration of 24 hours, except for the display of time or temperature, which must have a minimum duration of 8 seconds.
- iv. No portion of the image or message may flash, scroll, twirl, change color or in any manner imitate movement.
- v. The sign must not exceed a maximum illumination of 300 lumens during daylight hours and a maximum illumination of 50 lumens between dusk to dawn as measured from the sign's face at maximum brightness.

**8-9-9: APPEAL:**

Any affected person unsatisfied with an administrative decision on a Sign Permit application that is related to a requirement in this Code can file an appeal.

**A. Appeal Submittal:**

- a. To begin the appeal process, submit a complete application form, along with the required application fees, to the County. The appeal application must be filed within 14 days of the date of decision.
- b. An official denial letter must be provided to the applicant prior to the application of an appeal.

**B. Appeal Review:**

- a. Appeal of the Planning Administrator's decision
  - i. Any appeal received and all papers constituting the record relating to the action appealed will be transmitted by the Planning Administrator to the Commission for a public meeting within 30 days of receipt by the Planning Administrator of a complete application.
  - ii. The Commission will, during a regularly scheduled public meeting, make findings and render a decision within 30 days after the public meeting on the administrative appeal.
- b. Appeal of the Commission's' decision
  - i. Any appeal received and all papers constituting the record relating to the action appealed will be transmitted by the Planning Administrator to the Board for a public meeting within 30 days of receipt by the Planning Administrator of a complete application.
  - ii. The Board will, during a regularly scheduled public meeting, make findings and render a decision within 30 days after the public meeting on the administrative appeal.
- c. Appeal of the Board's decision
  - i. Applicants or affected property owners shall have no more than 14 days after the written decision is delivered to request reconsideration by the Board.
  - ii. Any reconsideration request received and all papers constituting the record relating to the action appealed will be transmitted by the Planning Administrator to the Board for a public meeting within 30 days of receipt by the Planning Administrator of a complete application.

- iii. If still not satisfied with a decision of the Board, one may pursue appeals to District Court within 28 days of the written decision being delivered.

**C. Pursuit of Other Approvals While Appeal is Pending:**

- a. The filing of an appeal means you can no longer move forward with any other approvals related to your development project until a decision has been made related to the appeal.

**D. Criteria for Appeal Review:**

- a. The criteria for approving or denying the request are the same used for the original decision by the Planning Administrator. The Commission may affirm or reverse the Planning Administrator's decision based on the applicable standards in this Code.