

# Article 8

# Building Types

# Article 8 - Building Types

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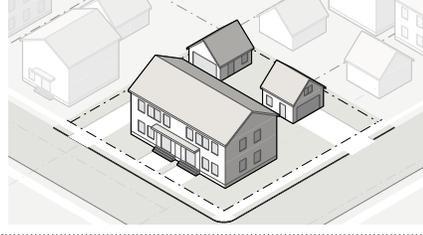
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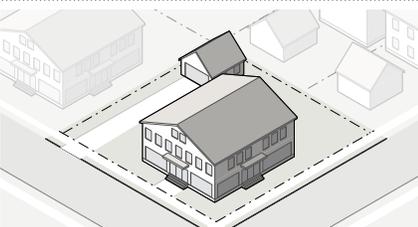
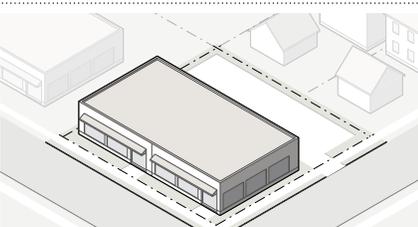
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<b>Zoning District Key</b>	
<b>Rural Districts</b>	<div style="background-color: #92d050; padding: 2px; margin-bottom: 2px; text-align: center;">RA: Rural Agriculture (Div. 3.1)</div> <div style="background-color: #92d050; padding: 2px; margin-bottom: 2px; text-align: center;">LA: Lowland Agriculture (Div. 3.2)</div> <div style="background-color: #92d050; padding: 2px; margin-bottom: 2px; text-align: center;">FH: Foothills (Div. 3.3)</div> <div style="background-color: #92d050; padding: 2px; margin-bottom: 2px; text-align: center;">ARN: Agricultural Rural Neighborhood (Div. 3.4)</div> <div style="background-color: #92d050; padding: 2px; margin-bottom: 2px; text-align: center;">RC: Rural Cluster (Div. 3.5)</div>
<b>Residential Districts</b>	<div style="background-color: #ffcc00; padding: 2px; margin-bottom: 2px; text-align: center;">RS-16: Residential Single-Family (Div. 4.1)</div> <div style="background-color: #ffcc00; padding: 2px; margin-bottom: 2px; text-align: center;">RS-7: Single-Family &amp; Two Family (Div. 4.2)</div> <div style="background-color: #ffcc00; padding: 2px; margin-bottom: 2px; text-align: center;">RS-5: Single-Family &amp; Two Family (Div. 4.3)</div> <div style="background-color: #ffcc00; padding: 2px; margin-bottom: 2px; text-align: center;">RS-3: Single-Family &amp; Two Family (Div. 4.4)</div> <div style="background-color: #ffcc00; padding: 2px; margin-bottom: 2px; text-align: center;">RM-1: Residential Multi-Family (Div. 4.5)</div> <div style="background-color: #ffcc00; padding: 2px; margin-bottom: 2px; text-align: center;">RM-2: Residential Multi-Family (Div. 4.6)</div>
<b>Mixed Use Districts</b>	<div style="background-color: #ff0000; padding: 2px; margin-bottom: 2px; text-align: center;">RX: Residential Mixed Use (Div. 5.1)</div> <div style="background-color: #ff0000; padding: 2px; margin-bottom: 2px; text-align: center;">NX: Neighborhood Mixed Use (Div. 5.2)</div> <div style="background-color: #ff0000; padding: 2px; margin-bottom: 2px; text-align: center;">CX: Commercial Mixed Use (Div. 5.3)</div> <div style="background-color: #ff0000; padding: 2px; margin-bottom: 2px; text-align: center;">DX: Downtown Mixed Use (Div. 5.4)</div> <div style="background-color: #ff0000; padding: 2px; margin-bottom: 2px; text-align: center;">CC: Commercial Corridor (Div. 5.5)</div> <div style="background-color: #ff0000; padding: 2px; margin-bottom: 2px; text-align: center;">CH: Commercial Heavy (Div. 5.6)</div> <div style="background-color: #ff0000; padding: 2px; margin-bottom: 2px; text-align: center;">IX: Industrial Flex (Div. 5.7)</div>
<b>Building Types do not apply to the following Districts.</b> <b>Buildings in these Districts may be unique in nature and should be purpose built.</b>	
<b>Industrial Districts</b>	<div style="background-color: #ff8c00; padding: 2px; margin-bottom: 2px; text-align: center;">IL: Industrial Light (Div. 6.1)</div> <div style="background-color: #ff8c00; padding: 2px; margin-bottom: 2px; text-align: center;">IH: Industrial Heavy (Div. 6.2)</div>
<b>Civic/Open Space Districts</b>	<div style="background-color: #6aa84f; padding: 2px; margin-bottom: 2px; text-align: center;">CIV: Civic and Institutional (Div. 7.1)</div> <div style="background-color: #6aa84f; padding: 2px; margin-bottom: 2px; text-align: center;">REC: Parks and Recreation (Div. 7.2)</div> <div style="background-color: #6aa84f; padding: 2px; margin-bottom: 2px; text-align: center;">PRS: Preservation (Div. 7.3)</div>

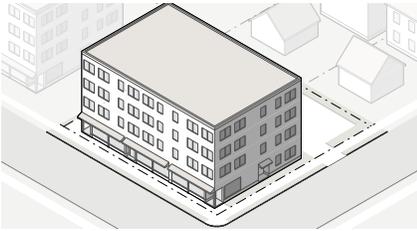
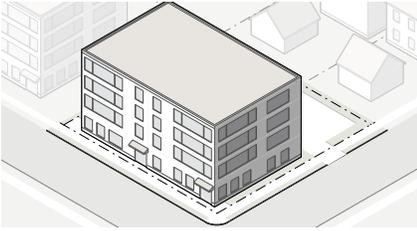
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Building Types Allowed by District	
Building Type	District
	<p><b>Detached House.</b> A building type that accommodates one dwelling unit on an individual lot with yards on all sides.</p> <ul style="list-style-type: none"> <li>RA LA FH ARN RC</li> <li>RS-16 RS-7 RS-5 RS-3</li> <li>RM-1 RM-2</li> <li>NX</li> </ul>
	<p><b>Backyard Cottage.</b> A small, self-contained accessory dwelling unit located on the same lot as a detached house but physically separated.</p> <ul style="list-style-type: none"> <li>RA LA FH ARN RC</li> <li>RS-16 RS-7 RS-5 RS-3 RM-1</li> <li>RM-2</li> <li>NX</li> </ul>
	<p><b>Cottage Court.</b> A building type that accommodates 5 to 9 detached dwelling units organized around an internal shared courtyard.</p> <ul style="list-style-type: none"> <li>RS-7 RS-5 RS-3</li> <li>RM-1 RM-2</li> </ul>
	<p><b>Duplex: Side by Side.</b> A building type that accommodates two dwelling units on an individual lot separated vertically side by side that share a common wall.</p> <ul style="list-style-type: none"> <li>RC</li> <li>RS-7 RS-5 RS-3</li> <li>RM-1 RM-2</li> </ul>
	<p><b>Duplex: Back to Back.</b> A building type that accommodates two dwelling units on an individual lot separated vertically with one unit located directly behind the other unit that share a common wall.</p> <ul style="list-style-type: none"> <li>RC</li> <li>RS-7 RS-5 RS-3</li> <li>RM-1 RM-2</li> </ul>
	<p><b>Attached House.</b> A building type that accommodates two attached dwelling units located on two separate lots that share a common wall along a lot line.</p> <ul style="list-style-type: none"> <li>RC</li> <li>RS-7 RS-5 RS-3</li> <li>RM-1 RM-2</li> </ul>

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Building Types Allowed by District	
Building Type	District
	<p><b>Four-plex.</b> A building type that accommodates 3 to 4 dwelling units vertically or horizontally integrated.</p> <p>RM-1 RM-2 NX</p>
	<p><b>Townhouse.</b> A building type that accommodates 3 or more dwelling units where each unit is separated vertically by a common side wall. Units cannot be vertically mixed.</p> <p>RM-2 RX CX</p>
	<p><b>Apartment.</b> A building type that accommodates 5 or more dwelling units vertically and horizontally integrated.</p> <p>RM-2 CX</p>
	<p><b>Live Work.</b> A building type that accommodates 3 or more units. Units allow for residential and nonresidential uses in the same physical space. Units may be vertically or horizontally mixed.</p> <p>RX CX DX CC IX</p>
	<p><b>Shopfront House.</b> A building type that typically accommodates ground floor retail, office, or commercial uses with upper-story residential or office uses at a scale that complements the existing residential character of the area.</p> <p>NX CX CC IX</p>
	<p><b>Single-Story Shopfront.</b> A single-story building type that typically accommodates retail or commercial uses.</p> <p>CX DX CC CH IX</p>

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Building Types Allowed by District	
Building Type	District
	<p><b>Mixed Use Shopfront.</b> A building type that typically accommodates ground floor retail, office, or commercial uses with upper-story residential or office uses.</p> <p>CX DX CC IX</p>
	<p><b>General Building.</b> A building type that typically accommodates commercial, office, or industrial uses.</p> <p>CX CC CH IX</p>
	<p><b>Agricultural Building.</b> A building type used in association with bona-fide, revenue producing, agricultural operation.</p> <p>RA LA FH ARN</p>
	<p><b>Accessory Building.</b> A building type that is incidental to and located on the same lot as a principal building or use. This building type may not be used as a dwelling unit.</p> <p>RA LA FH ARN RC            RS-16 RS-7 RS-5 RS-3            RM-1 RM-2            RX NX CX DX IX</p>

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## 8.2.1. Description



### Definition

A building type that accommodates one dwelling unit on an individual lot with yards on all sides.

This includes:

Site Built Home: Buildings constructed on site

Modular Building- Buildings that are prefabricated and assembled on site. The structures need to be approved and certified by the Idaho Division of Building Safety (DBS).

Manufactured Home: A structure built in compliance with HUD construction and safety standards and on a permanent foundation.

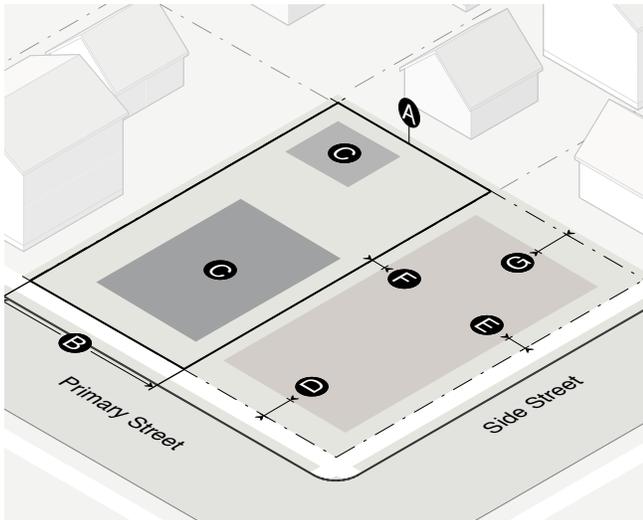
It does not include: Motor homes, park trailers, travel trailers, truck campers, or camping trailers, which are designed for recreational, temporary or emergency human habitation. These structures are temporary in nature and are to be removed from the property after six months of habitation.

### Districts Allowed

- RA LA FH ARN RC
- RS-16 RS-7 RS-5 RS-3
- RM-1 RM-2
- NX

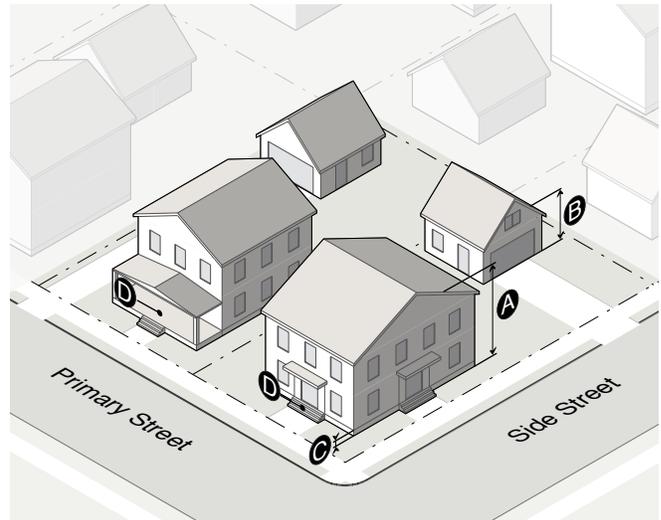
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## 8.2.2. Lot and Placement



Lot		
Area	Set by district	<b>A</b>
Width	Set by district	<b>B</b>
Dwelling units per lot	1 min / 1 max	
Coverage		
Lot coverage	Set by district	<b>C</b>
Building Setbacks		
Primary street	Set by district	<b>D</b>
Side street	Set by district	<b>E</b>
Side interior	Set by district	<b>F</b>
Rear	Set by district	<b>G</b>
Build-to Zone (BTZ)		
Building facade in primary street BTZ (% of lot width)	Does not apply	
Building facade in side street BTZ (% of lot width)	Does not apply	

## 8.2.3. Height and Form



Height		
Principal building	Set by district	<b>A</b>
Accessory building	Set by district	<b>B</b>
Ground floor elevation	2' min	<b>C</b>
Pedestrian Access		
Entrance facing primary street	Required	<b>D</b>
Building Elements Allowed		
Balcony	See Div. 8.18.3	
Porch	See Div. 8.18.6	
Stoop	See Div. 8.18.7	
Parking Location		
Front/corner yard restrictions	See Div. 8.18.2	
Garage door restrictions	See Div. 8.18.1	

8.3.1. Description



Definition

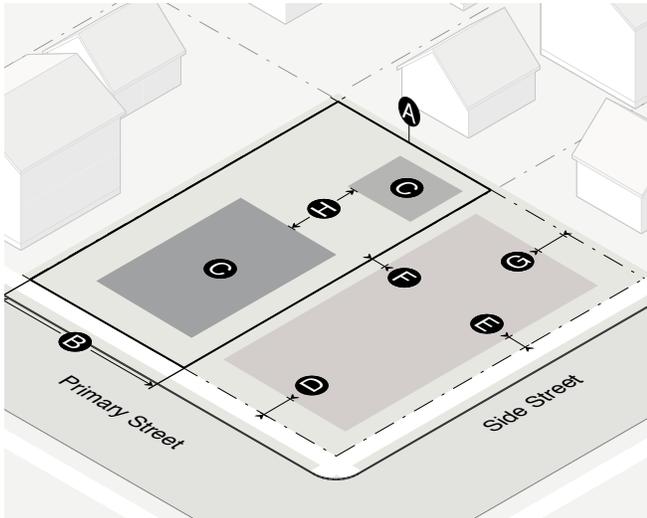
A small, self-contained accessory dwelling unit located on the same lot as a detached house but physically separated for use as a complete, independent living facility with provisions for cooking, sanitation, and sleeping.

Districts Allowed

- RA    LA    FH    ARN    RC
- RS-16   RS-7   RS-5   RS-3
- RM-1   RM-2
- NX

# PZC Public Review Draft - August 2016

## 8.3.2. Lot and Placement



Lot		
Area	Set by district	<b>A</b>
Width	Set by district	<b>B</b>
Dwelling units per lot	2 min / 2 max	
Coverage		
Lot coverage	Set by district	<b>C</b>
Building area	See Div. 10.9.2	
Building Setbacks		
Primary street	Set by district	<b>D</b>
Side street	Set by district	<b>E</b>
Side interior	Set by district	<b>F</b>
Rear	Set by district	<b>G</b>
Building separation	10' min	<b>H</b>
Build-to Zone (BTZ)		
Building facade in primary street BTZ (% of lot width)	Does not apply	
Building facade in side street BTZ (% of lot width)	Does not apply	

## 8.3.3. Height and Form



Height		
Principal building	Set by district	
Accessory building	Set by district	<b>A</b>
Pedestrian Access		
Entrance facing primary street	Does not apply	
Building Elements Allowed		
Balcony	Does not apply	
Porch	Does not apply	
Stoop	Does not apply	
Parking Location		
Front/corner yard restrictions	Does not apply	
Additional on-site parking	1 space min	
Garage door restrictions	See Div. 8.19.1	

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## 8.4.1. Description



### Definition

A building type that accommodates 5 to 9 detached dwelling units organized around an internal shared courtyard.

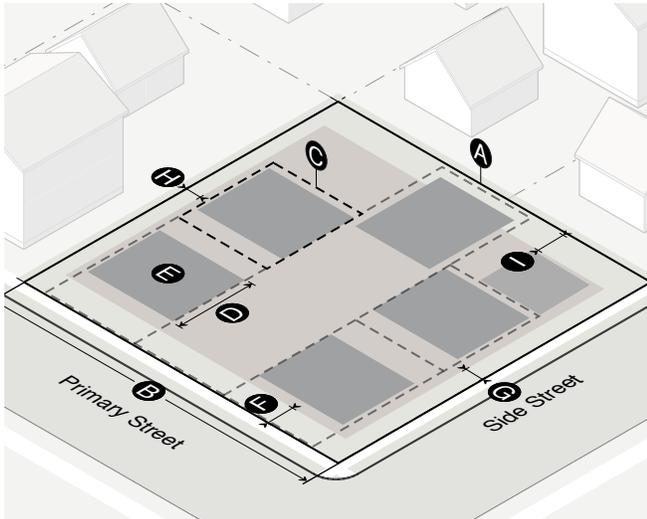
### Districts Allowed

RS-7 RS-5 RS-3

RM-1 RM-2

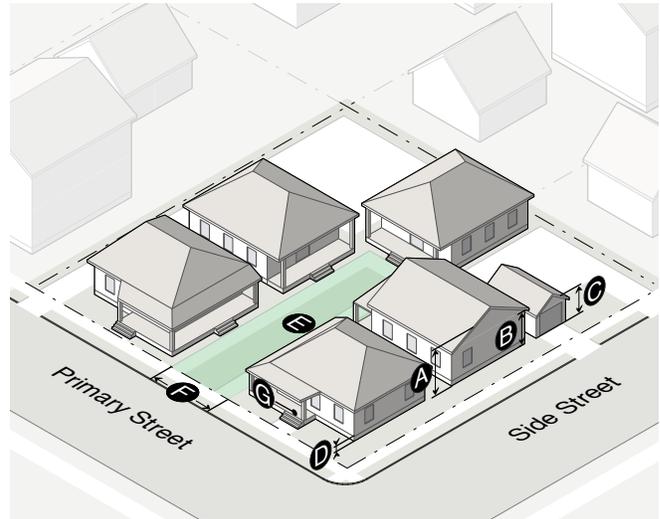
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## 8.4.2. Lot and Placement



Site	
Site area	22,500 SF min <b>A</b>
Site width/depth	150' min <b>B</b>
Dwelling units per site	5 min / 9 max
Additional site area per dwelling unit beyond 5 units	4,500 SF min
Lot	
Area	1,200 SF min <b>C</b>
Width	20' min <b>D</b>
Coverage	
Lot coverage	Does not apply
Principal building footprint	1,200 SF max <b>E</b>
Building Setbacks	
Primary street	Set by district <b>F</b>
Side street	Set by district <b>G</b>
Side interior	Set by district <b>H</b>
Rear	Set by district <b>I</b>
Build-to Zone (BTZ)	
Building facade in primary street BTZ (% of lot width)	Does not apply
Building facade in side street BTZ (% of lot width)	Does not apply

## 8.4.3. Height and Form



Height	
Principal building	1.5 stories / 24' max <b>A</b>
Building wall plate height	18' max <b>B</b>
Accessory building	18' max <b>C</b>
Ground floor elevation	2' min <b>D</b>
Courtyard	
Area	3,000 SF max <b>E</b>
Width	40' min <b>F</b>
Additional site area per dwelling unit beyond 5 units	600 SF min
Courtyard cannot be parked or driven upon, except for emergency access and permitted temporary events	
Pedestrian Access	
Entrance facing primary street	Required for units facing street <b>G</b>
Building Elements Allowed	
Balcony	See Div. 8.18.3
Porch	See Div. 8.18.6
Stoop	See Div. 8.18.7
Parking Location	
Front/corner yard	Not allowed
Garage door restrictions	See Div. 8.19.1

8.5.1. Description



Definition

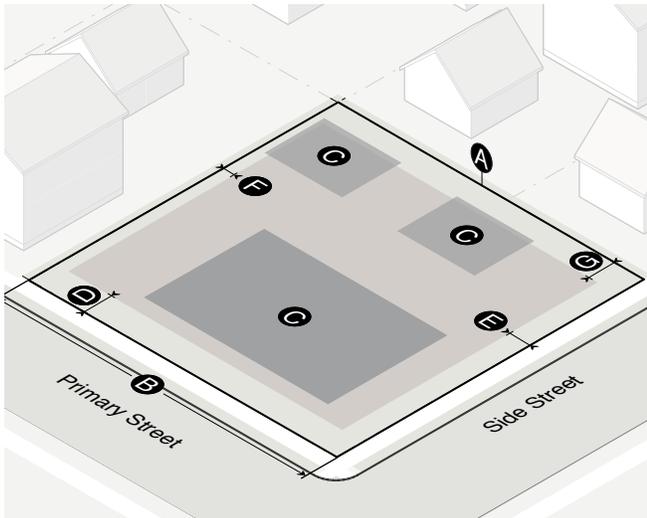
A building type that accommodates two dwelling units on an individual lot separated vertically, side by side that share a common wall.

Districts Allowed

- RC
- RS-7
- RS-5
- RS-3
- RM-1
- RM-2

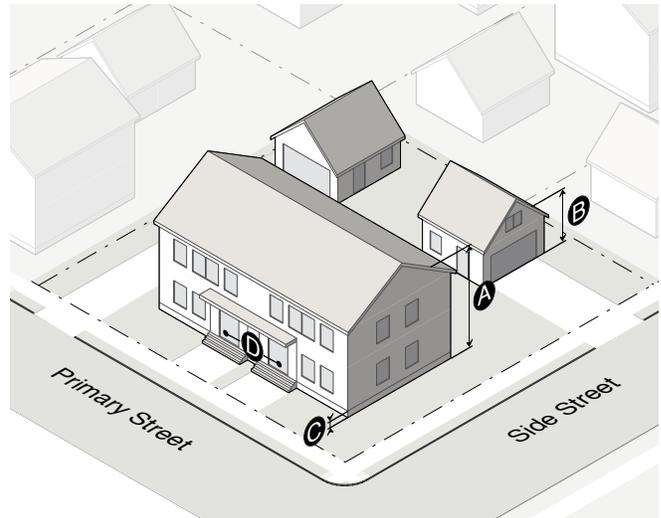
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## 8.5.2. Lot and Placement



Lot		
Area	Set by district	<b>A</b>
Width	Set by district	<b>B</b>
Dwelling units per lot	2 min / 2 max	
Coverage		
Lot coverage	Set by district	<b>C</b>
Building Setbacks		
Primary street	Set by district	<b>D</b>
Side street	Set by district	<b>E</b>
Side interior	Set by district	<b>F</b>
Rear	Set by district	<b>G</b>
Build-to Zone (BTZ)		
Building facade in primary street BTZ (% of lot width)	Does not apply	
Building facade in side street BTZ (% of lot width)	Does not apply	

## 8.5.3. Height and Form



Height		
Principal building	Set by district	<b>A</b>
Accessory building	Set by district	<b>B</b>
Ground floor elevation	2' min	<b>C</b>
Pedestrian Access		
Entrance facing primary street	Required	<b>D</b>
Building Elements Allowed		
Balcony	See Div. 8.18.3	
Porch	See Div. 8.18.6	
Stoop	See Div. 8.18.7	
Parking Location		
Front/corner yard restrictions	See Div. 8.19.2	
Garage door restrictions	See Div. 8.19.1	

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## 8.6.1. Description



### Definition

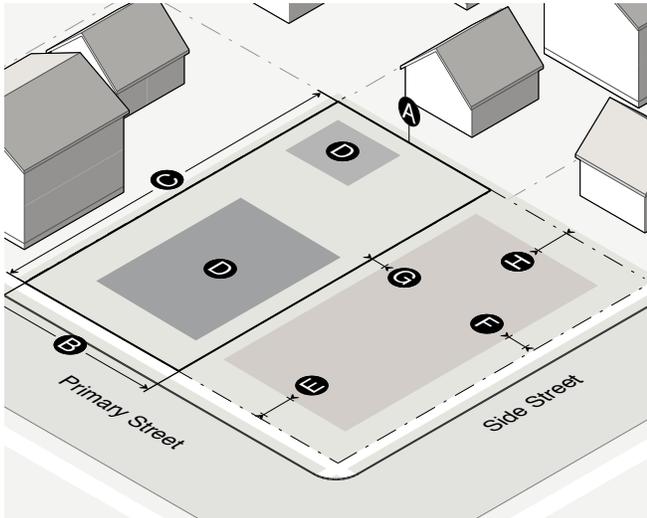
A building type that accommodates two dwelling units on an individual lot separated vertically, with one unit located directly behind the other unit, that share a common wall.

### Districts Allowed

- RC
- RS-7   RS-5   RS-3
- RM-1   RM-2

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## 8.6.2. Lot and Placement



Lot		
Area	Set by district	<b>A</b>
Width	Set by district	<b>B</b>
Depth	125'	<b>C</b>
Dwelling units per lot	2 min / 2 max	
Coverage		
Lot coverage	Set by district	<b>D</b>
Building Setbacks		
Primary street	Set by district	<b>E</b>
Side street	Set by district	<b>F</b>
Side interior	Set by district	<b>G</b>
Rear	Set by district	<b>H</b>
Build-to Zone (BTZ)		
Building facade in primary street BTZ (% of lot width)	Does not apply	
Building facade in side street BTZ (% of lot width)	Does not apply	

## 8.6.3. Height and Form



Height		
Principal building	Set by district	<b>A</b>
Accessory building	Set by district	<b>B</b>
Ground floor elevation (front unit only)	2' min	<b>C</b>
Pedestrian Access		
Entrance facing primary street (front unit only)	Required	<b>D</b>
Building Elements Allowed		
Balcony	See Div. 8.18.3	
Porch	See Div. 8.18.6	
Stoop	See Div. 8.18.7	
Parking Location		
Front/corner yard restrictions	See Div. 8.19.2	
Garage door restrictions	See Div. 8.19.1	

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## 8.7.1. Description



### Definition

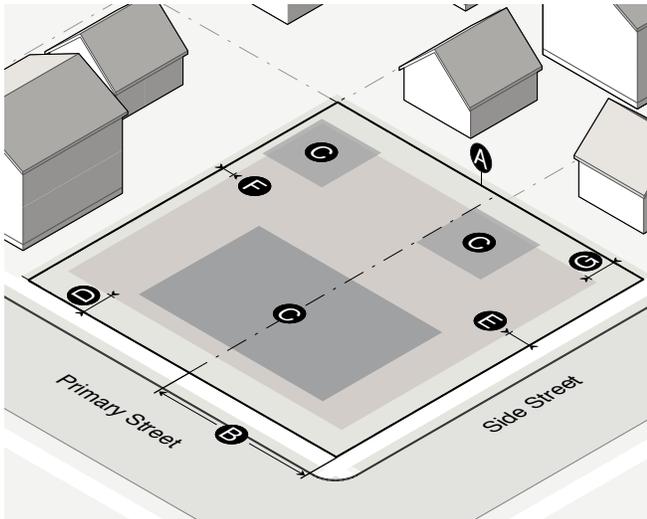
A building type that accommodates two attached dwelling units, located on two separate lots, that share a common wall along a lot line.

### Districts Allowed

- RC
- RS-7   RS-5   RS-3
- RM-1   RM-2

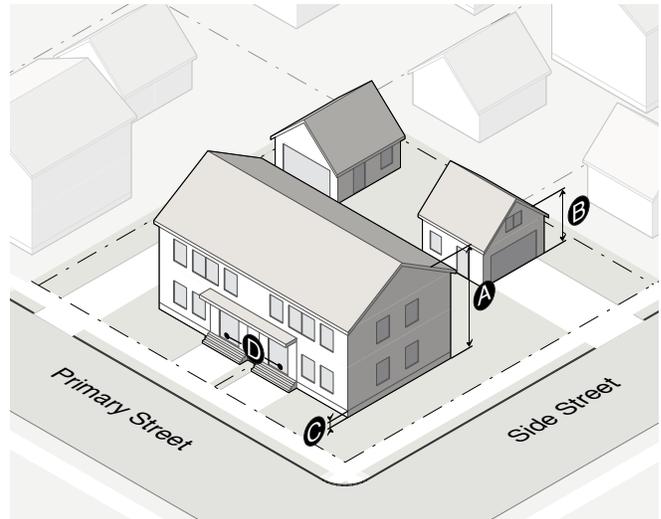
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## 8.7.2. Lot and Placement



Lot		
Area	Set by district	<b>A</b>
Width	Set by district	<b>B</b>
Dwelling units per lot	1 min / 1 max	
Coverage		
Lot coverage	Set by district	<b>C</b>
Building Setbacks		
Primary street	Set by district	<b>D</b>
Side street	Set by district	<b>E</b>
Side interior	Set by district	<b>F</b>
Rear	Set by district	<b>G</b>
Build-to Zone (BTZ)		
Building facade in primary street BTZ (% of lot width)	Does not apply	
Building facade in side street BTZ (% of lot width)	Does not apply	

## 8.7.3. Lot and Placement



Height		
Principal building	Set by district	<b>A</b>
Accessory building	Set by district	<b>B</b>
Ground floor elevation	2' min	<b>C</b>
Pedestrian Access		
Entrance facing primary street	Required	<b>D</b>
Building Elements Allowed		
Balcony	See Div. 8.18.3	
Porch	See Div. 8.18.6	
Stoop	See Div. 8.18.7	
Parking Location		
Front/corner yard restrictions	See Div. 8.19.2	
Garage door restrictions	See Div. 8.19.1	

# PZC Public Review Draft - August 2016

## 8.8.1. Description



### Definition

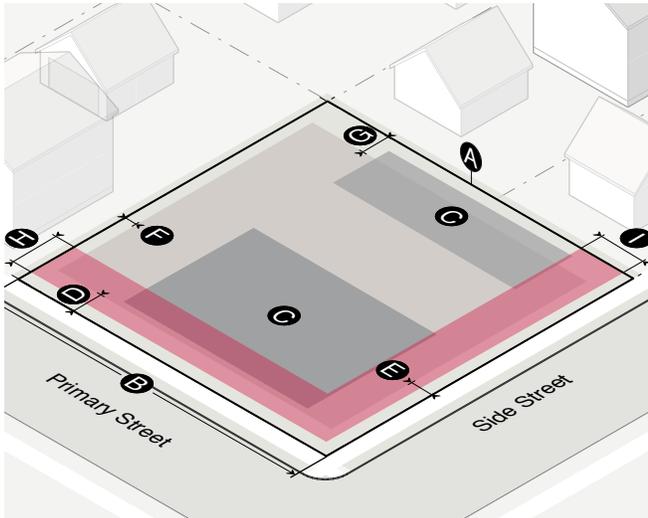
A building type that accommodates 3 to 4 dwelling units vertically or horizontally integrated.

### Districts Allowed

- RM-1
- RM-2
- NX**

# PZC Public Review Draft - August 2016

## 8.8.2. Lot and Placement



Lot		
Area	7,000 SF min	<b>A</b>
Width	65 min	<b>B</b>
Dwelling units per lot	3 min / 4 max	
Coverage		
Lot coverage	Set by district	<b>C</b>
Building Setbacks		
Primary street	Set by district	<b>D</b>
Side street	Set by district	<b>E</b>
Side interior	Set by district	<b>F</b>
Rear	Set by district	<b>G</b>
Build-to Zone (BTZ)		
Building facade in primary street BTZ (% of lot width)	Set by district	<b>H</b>
Building facade in side street BTZ (% of lot width)	Set by district	<b>I</b>

## 8.8.3. Height and Form



Height		
Principal building	3 stories / 35' max	<b>A</b>
Accessory building	24' max	<b>B</b>
Ground floor elevation	2' min	<b>C</b>
Transparency		
Ground story	20% min	<b>D</b>
Upper story	20% min	<b>E</b>
Blank wall area	35' max	<b>F</b>
Pedestrian Access		
Entrance facing primary street	Required	<b>G</b>
Building Elements Allowed		
Awning/canopy	See Div. 8.18.2	
Balcony	See Div. 8.18.3	
Porch	See Div. 8.18.6	
Stoop	See Div. 8.18.7	
Parking Location		
Front/corner yard	Not allowed	
Garage door restrictions	See Div. 8.19.1	

# PZC Public Review Draft - August 2016

## 8.9.1. Description



### Definition

A building type that accommodates 3 or more dwelling units where each unit is separated vertically by a common side wall. Units cannot be vertically mixed.

### Districts Allowed

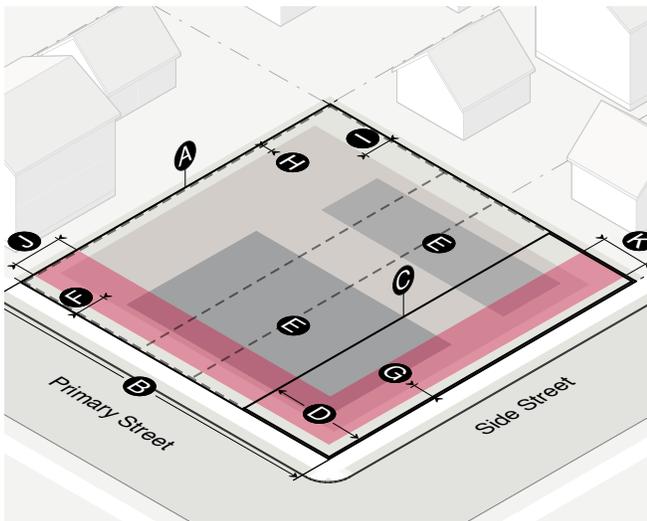
RM-2

RX

CX

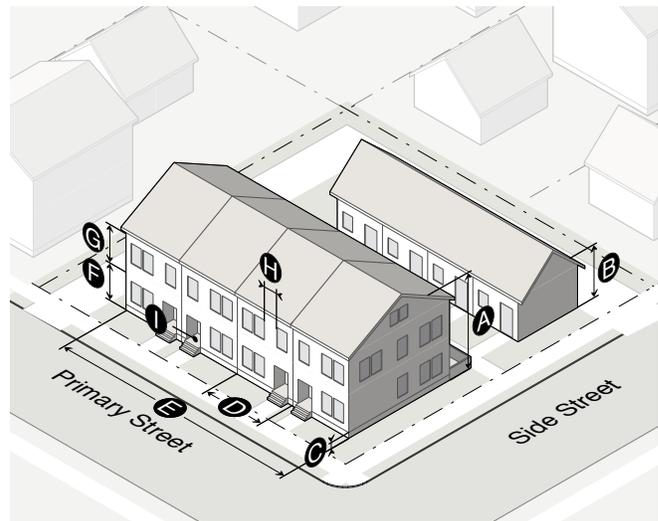
# PZC Public Review Draft - August 2016

## 8.9.2. Lot and Placement



Site		
Site area	5,000 SF min	<b>A</b>
Site width	70' min	<b>B</b>
Dwelling units per lot	1 min / no max	
Lot		
Area	1,500 SF min	<b>C</b>
Width	20' min	<b>D</b>
Coverage		
Lot coverage	Set by district	<b>E</b>
Building Setbacks		
Primary street	Set by district	<b>F</b>
Side street	Set by district	<b>G</b>
Side interior	Set by district	<b>H</b>
Rear	Set by district	<b>I</b>
Build-to Zone (BTZ)		
Building facade in primary street BTZ (% of lot width)	Set by district	<b>J</b>
Building facade in side street BTZ (% of lot width)	Set by district	<b>K</b>

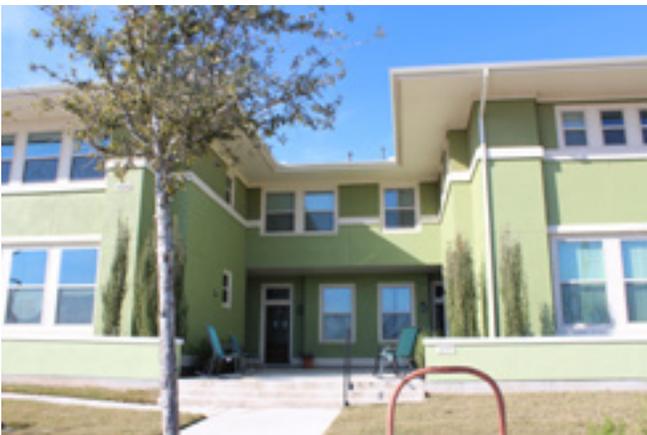
## 8.9.3. Height and Form



Height		
Principal building	3 stories / 35' max	<b>A</b>
Accessory building	24' max	<b>B</b>
Ground floor elevation	2' min	<b>C</b>
Building Dimensions		
Unit width	20' min	<b>D</b>
Number of units permitted in a row	6 max	<b>E</b>
Transparency		
Ground story	20% min	<b>F</b>
Upper story	20% min	<b>G</b>
Blank wall area	35' max	<b>H</b>
Pedestrian Access		
Entrance facing primary street (each ground floor unit)	Required	<b>I</b>
Building Elements Allowed		
Awning/canopy	See Div. 8.18.2	
Balcony	See Div. 8.18.3	
Porch	See Div. 8.18.6	
Stoop	See Div. 8.18.7	
Parking Location		
Front/corner yard	Not allowed	
Garage door restrictions	See Div. 8.19.1	

# PZC Public Review Draft - August 2016

## 8.10.1. Description



### Definition

A building type that accommodates 5 or more dwelling units vertically and horizontally integrated.

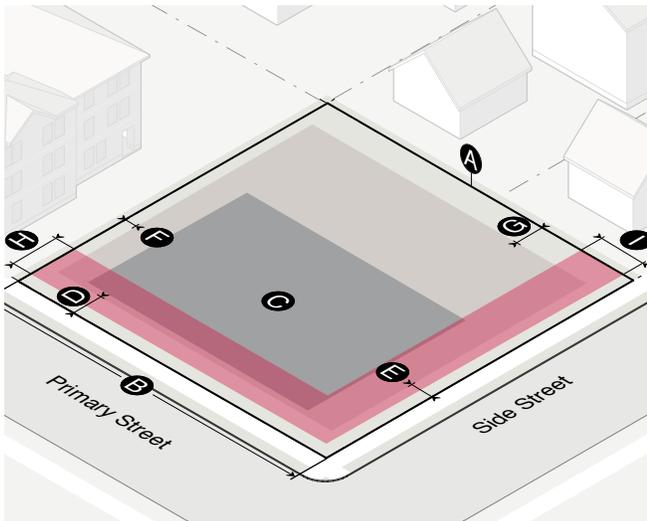
### Districts Allowed

RM-2

CX

# PZC Public Review Draft - August 2016

## 8.10.2. Lot and Placement



Lot		
Area	Set by district	<b>A</b>
Width	Set by district	<b>B</b>
Dwelling units per lot	5 min / no max	
Coverage		
Lot coverage	Set by district	<b>C</b>
Building Setbacks		
Primary street	Set by district	<b>D</b>
Side street	Set by district	<b>E</b>
Side interior	Set by district	<b>F</b>
Rear	Set by district	<b>G</b>
Build-to Zone (BTZ)		
Building facade in primary street BTZ (% of lot width)	Set by district	<b>H</b>
Building facade in side street BTZ (% of lot width)	Set by district	<b>I</b>

## 8.10.3. Height and Form



Height		
All buildings	Set by district	<b>A</b>
Ground floor elevation	2' min	<b>B</b>
Building Dimensions		
Length	120' max	<b>C</b>
Transparency		
Ground story	20% min	<b>D</b>
Upper story	20% min	<b>E</b>
Blank wall area	35' max	<b>F</b>
Pedestrian Access		
Entrance facing primary street	Required	<b>G</b>
Entrance spacing along primary street	100' max	<b>H</b>
Building Elements Allowed		
Awning/canopy	See Div. 8.18.2	
Balcony	See Div. 8.18.3	
Forecourt	See Div. 8.18.4	
Porch	See Div. 8.18.6	
Stoop	See Div. 8.18.7	
Parking Location		
Front/corner yard	Not allowed	

# PZC Public Review Draft - August 2016

## 8.11.1. Description



### Definition

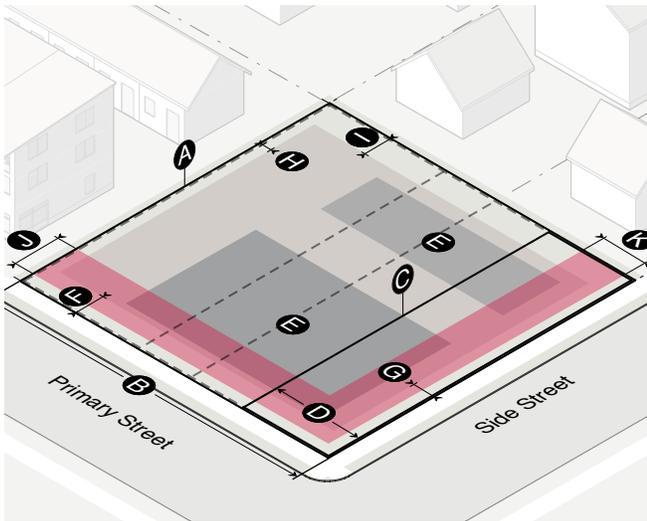
A building type that accommodates 3 or more units. Units allow for residential and nonresidential uses in the same physical space. Units may be vertically or horizontally mixed.

### Districts Allowed

**RX** **CX** **DX** **CC** **IX**

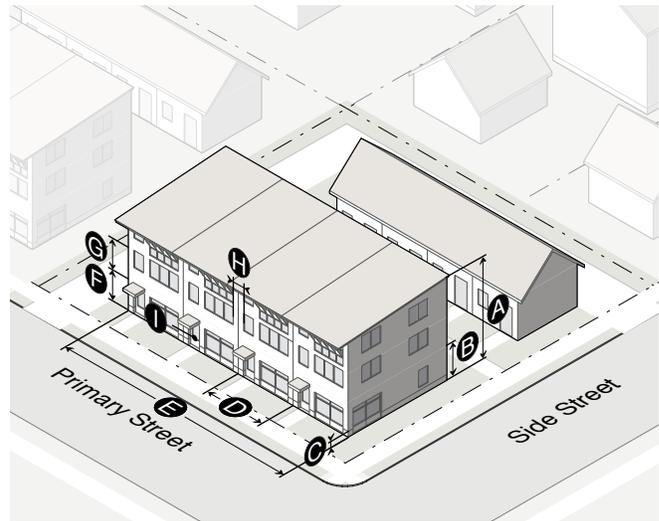
# PZC Public Review Draft - August 2016

## 8.11.2. Lot and Placement



Site		
Site area	4,000 SF min	<b>A</b>
Site width	55' min	<b>B</b>
Units per lot	1 min / no max	
Lot		
Area	1,100 SF min	<b>C</b>
Width	15' min	<b>D</b>
Coverage		
Lot coverage	Set by district	<b>E</b>
Building Setbacks		
Primary street	Set by district	<b>F</b>
Side street	Set by district	<b>G</b>
Side interior	Set by district	<b>H</b>
Rear	Set by district	<b>I</b>
Build-to Zone (BTZ)		
Building facade in primary street BTZ (% of lot width)	Set by district	<b>J</b>
Building facade in side street BTZ (% of lot width)	Set by district	<b>K</b>

## 8.11.3. Height and Form



Height		
All buildings	3 stories / 35' max	<b>A</b>
Ground story height	12' min	<b>B</b>
Ground floor elevation	2' min	<b>C</b>
Building Dimensions		
Unit width	15' min / 30' max	<b>D</b>
Number of units permitted in a row	6 max	<b>E</b>
Transparency		
Ground story	40% min	<b>F</b>
Upper story	20% min	<b>G</b>
Blank wall area	25' max	<b>H</b>
Pedestrian Access		
Entrance facing primary street (each ground floor unit)	Required	<b>I</b>
Building Elements Allowed		
Awning/canopy	See Div. 8.18.2	
Balcony	See Div. 8.18.3	
Porch	See Div. 8.18.6	
Stoop	See Div. 8.18.7	
Parking Location		
Front/corner yard	Not allowed	
Garage door restrictions	See Div. 8.19.1	

8.12.1. Description



Definition

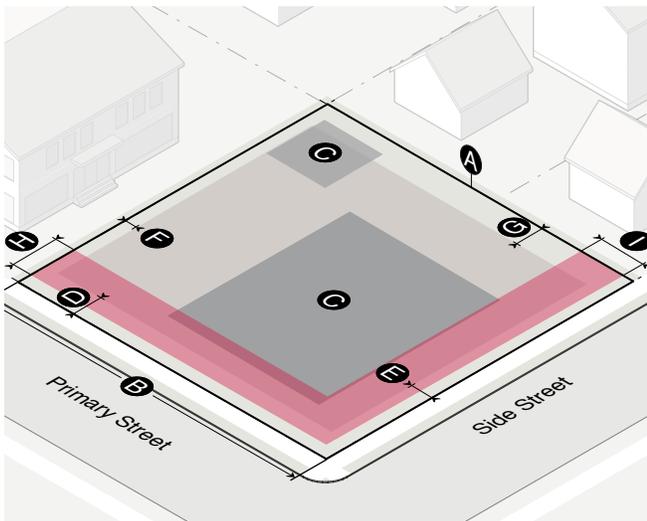
A building type that typically accommodates ground floor retail, office, or commercial uses with upper-story residential or office uses at a scale that complements the existing residential character of the area.

Districts Allowed

- NX
- CX
- CC
- IX

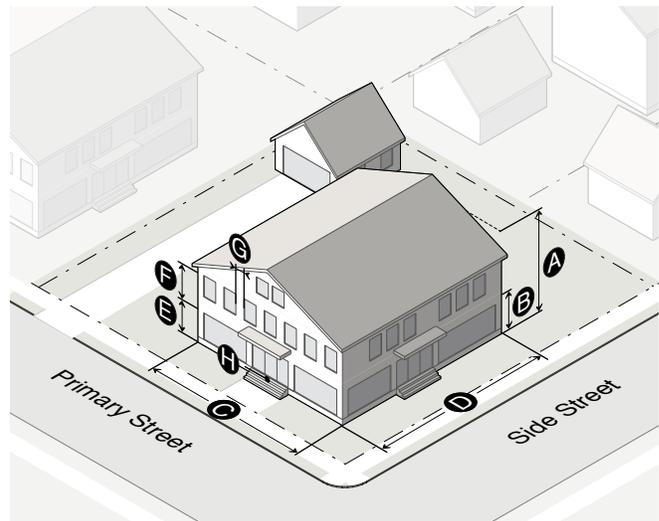
# PZC Public Review Draft - August 2016

## 8.12.2. Lot and Placement



Lot		
Area	Set by district	<b>A</b>
Width	Set by district	<b>B</b>
Coverage		
Lot coverage	Set by district	<b>C</b>
Building Setbacks		
Primary street	Set by district	<b>D</b>
Side street	Set by district	<b>E</b>
Side interior	Set by district	<b>F</b>
Rear	Set by district	<b>G</b>
Build-to Zone (BTZ)		
Building facade in primary street BTZ (% of lot width)	Set by district	<b>H</b>
Building facade in side street BTZ (% of lot width)	Set by district	<b>I</b>

## 8.12.3. Height and Form



Height		
All buildings	3 stories / 35' max	<b>A</b>
Ground story height	10' min	<b>B</b>
Building Dimensions		
Length	50' max	<b>C</b>
Depth	75' max	<b>D</b>
Transparency		
Ground story	40% min	<b>E</b>
Upper story	20% min	<b>F</b>
Blank wall area	35' max	<b>G</b>
Pedestrian Access		
Entrance facing primary street	Required	<b>H</b>
Building Elements Allowed		
Awning/canopy	See Div. 8.18.2	
Balcony	See Div. 8.18.3	
Porch	See Div. 8.18.6	
Stoop	See Div. 8.18.7	
Parking Location		
Front/corner yard	Not allowed	
Garage door restrictions	See Div. 8.19.1	

# PZC Public Review Draft - August 2016

## 8.13.1. Description



### Definition

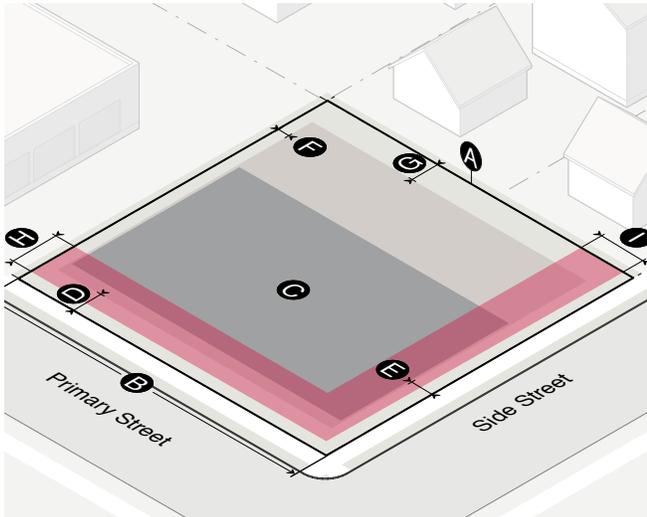
A single-story building type that typically accommodates retail or commercial uses.

### Districts Allowed

- CX
- DX
- CC
- CH
- IX

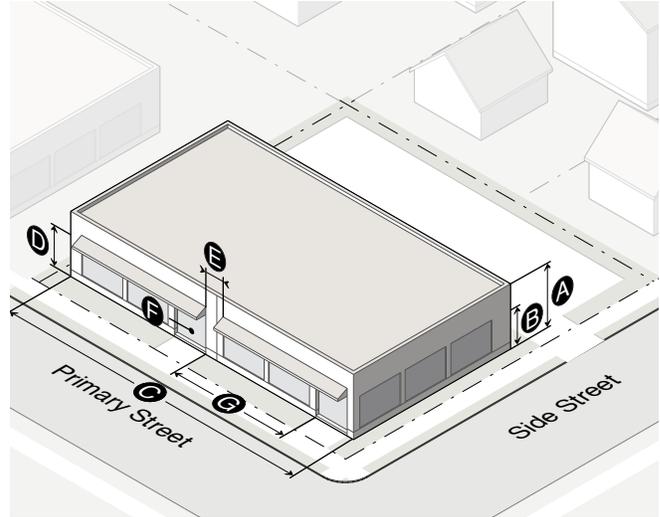
# PZC Public Review Draft - August 2016

## 8.13.2. Lot and Placement



Lot		
Area	Set by district	<b>A</b>
Width	Set by district	<b>B</b>
Coverage		
Lot coverage	Set by district	<b>C</b>
Building Setbacks		
Primary street	Set by district	<b>D</b>
Side street	Set by district	<b>E</b>
Side interior	Set by district	<b>F</b>
Rear	Set by district	<b>G</b>
Build-to Zone (BTZ)		
Building facade in primary street BTZ (% of lot width)	Set by district	<b>H</b>
Building facade in side street BTZ (% of lot width)	Set by district	<b>I</b>

## 8.13.3. Height and Form



Height		
All buildings	1 story / 24' max	<b>A</b>
Ground story height	12' min	<b>B</b>
Building Dimensions		
Length	150' max	<b>C</b>
Transparency		
Ground story	60% min	<b>D</b>
Building footprint 20,000 sf or more	30% min	
Blank wall area	25' max	<b>E</b>
Building footprint 20,000 sf or more	75' max	
Pedestrian Access		
Entrance facing primary street	Required	<b>F</b>
Entrance spacing along primary street	75' max	<b>G</b>
Building footprint 20,000 sf or more	125' max	
Building Elements Allowed		
Awning/canopy	See Div. 8.18.2	
Forecourt	See Div. 8.18.4	
Gallery	See Div. 8.18.5	
Parking Location		
Set by district		

# PZC Public Review Draft - August 2016

## 8.14.1. Description



### Definition

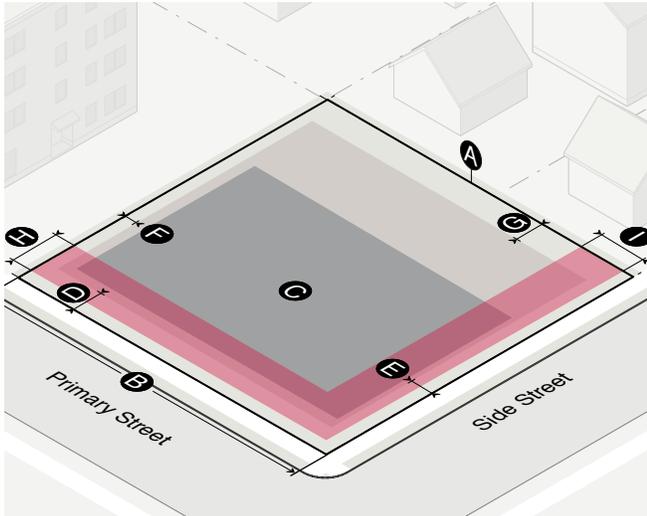
A building type that typically accommodates ground floor retail, office, or commercial uses with upper-story residential or office uses

### Districts Allowed

- CX
- DX
- CC
- IX

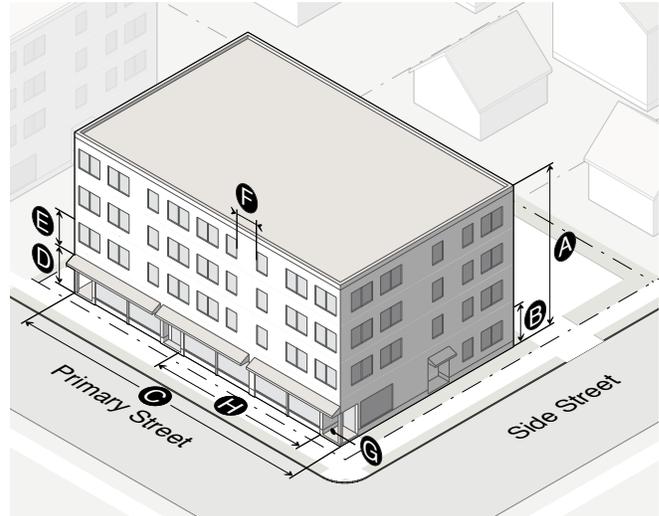
# PZC Public Review Draft - August 2016

## 8.14.2. Lot and Placement



Lot		
Area	Set by district	<b>A</b>
Width	Set by district	<b>B</b>
Coverage		
Lot coverage	Set by district	<b>C</b>
Building Setbacks		
Primary street	Set by district	<b>D</b>
Side street	Set by district	<b>E</b>
Side interior	Set by district	<b>F</b>
Rear	Set by district	<b>G</b>
Build-to Zone (BTZ)		
Building facade in primary street BTZ (% of lot width)	Set by district	<b>H</b>
Building facade in side street BTZ (% of lot width)	Set by district	<b>I</b>

## 8.14.3. Height and Form



Height		
All buildings	Set by district	<b>A</b>
Ground story height	12' min	<b>B</b>
Building Dimensions		
Length	120' max	<b>C</b>
Transparency		
Ground story	60% min	<b>D</b>
Upper story	20% min	<b>E</b>
Blank wall area	25' max	<b>F</b>
Pedestrian Access		
Entrance facing primary street	Required	<b>G</b>
Entrance spacing along primary street	75' max	<b>H</b>
Building Elements Allowed		
Awning/canopy	See Div. 8.18.2	
Forecourt	See Div. 8.18.4	
Gallery	See Div. 8.18.5	
Parking Location		
Set by district		

8.15.1. Description



Definition

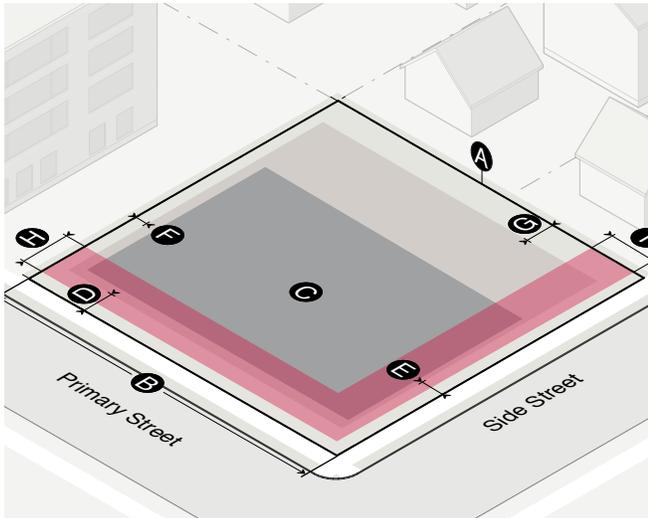
A building type that typically accommodates commercial, office, or industrial uses.

Districts Allowed

- CX
- CC
- CH
- IX

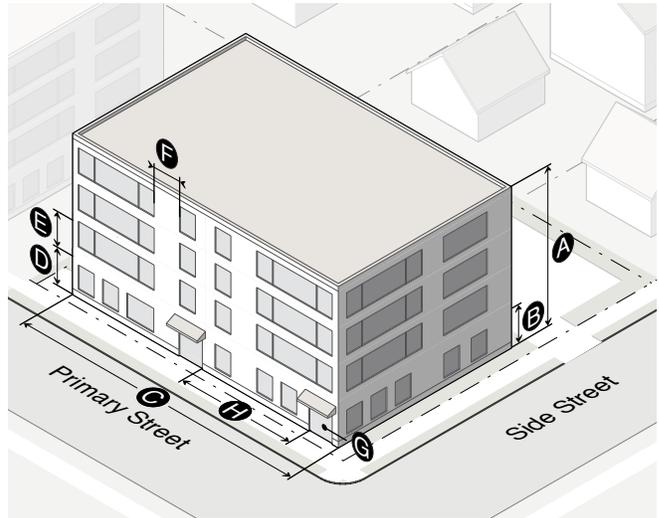
# PZC Public Review Draft - August 2016

## 8.15.2. Lot and Placement



Lot		
Area	Set by district	<b>A</b>
Width	Set by district	<b>B</b>
Coverage		
Lot coverage	Set by district	<b>C</b>
Building Setbacks		
Primary street	Set by district	<b>D</b>
Side street	Set by district	<b>E</b>
Side interior	Set by district	<b>F</b>
Rear	Set by district	<b>G</b>
Build-to Zone (BTZ)		
Building facade in primary street BTZ (% of lot width)	Set by district	<b>H</b>
Building facade in side street BTZ (% of lot width)	Set by district	<b>I</b>

## 8.15.3. Lot and Placement



Height		
All buildings	Set by district	<b>A</b>
Ground story height	10' min	<b>B</b>
Building Dimensions		
Length	120' max	<b>C</b>
Transparency		
Ground story	40% min	<b>D</b>
Upper story	20% min	<b>E</b>
Blank wall area	50' max	<b>F</b>
Pedestrian Access		
Entrance facing primary street	Required	<b>G</b>
Entrance spacing along primary street	125' max	<b>H</b>
Building Elements Allowed		
Awning/canopy	See Div. 8.18.2	
Forecourt	See Div. 8.18.4	
Gallery	See Div. 8.18.5	
Parking Location		
Set by district		

8.16.1. Description



Definition

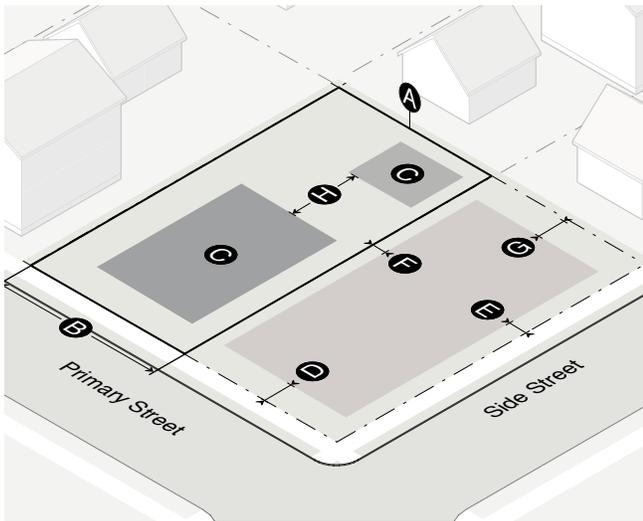
A building type used in association with a bona-fide, revenue producing, agricultural operation, such as a barn, hay shed, or equipment shed. This building type may only be used for storage related to the agricultural operation on the property. To qualify for this building type, evidence of Farm Income must be provided to the Teton County Planning & Building Department.

Districts Allowed

RA LA FH ARN

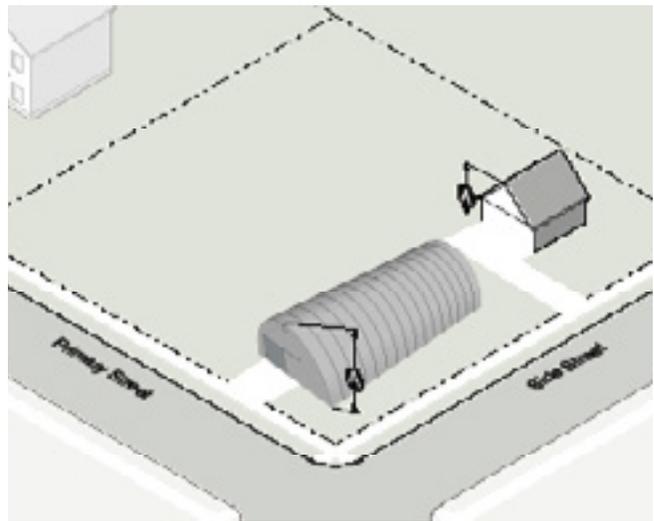
# PZC Public Review Draft - August 2016

## 8.16.2. Lot and Placement



Lot		
Area	Set by district	<b>A</b>
Width	Set by district	<b>B</b>
Coverage		
Lot coverage	Set by district	<b>C</b>
Building Setbacks		
Primary street	Set by district	<b>D</b>
Side street	Set by district	<b>E</b>
Side interior	Set by district	<b>F</b>
Rear	Set by district	<b>G</b>
Building separation	5' min	<b>H</b>

## 8.16.3. Height and Form



Height		
Agricultural building	Set by district	<b>A</b>

8.17.1. Description

Definition

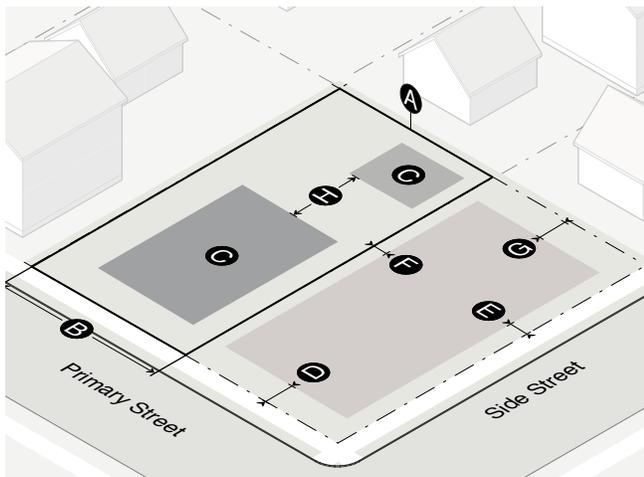
An accessory building includes detached buildings such as garages, carports, storage sheds, barns, pole barns, greenhouses, metal storage containers, and other buildings that are incidental to and located on the same lot as a principal building or use (Accessory buildings may be constructed on a property prior to the principal building, as long as the use is incidental to the underlying use of the property). This building type may not be used as a dwelling unit.

Districts Allowed

- RA LA FH ARN RC RS-16 RS-7 RS-5 RS-3 RM-1 RM-2 RX NX CX DX IX

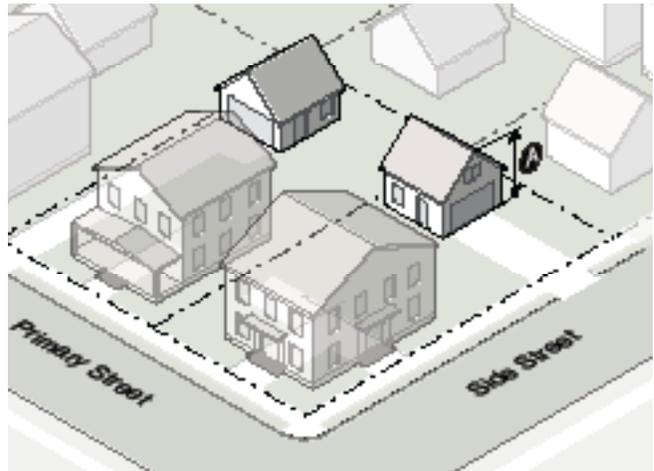


8.17.2. Lot and Placement



Lot		
Area	Set by district	<b>A</b>
Width	Set by district	<b>B</b>
Coverage		
Lot coverage	Set by district	<b>C</b>
Building Setbacks		
Primary street	Set by district	<b>D</b>
Side street	Set by district	<b>E</b>
Side interior	Set by district	<b>F</b>
Rear	Set by district	<b>G</b>
Building separation	5' min	<b>H</b>

8.17.3. Height and Form



Site Location

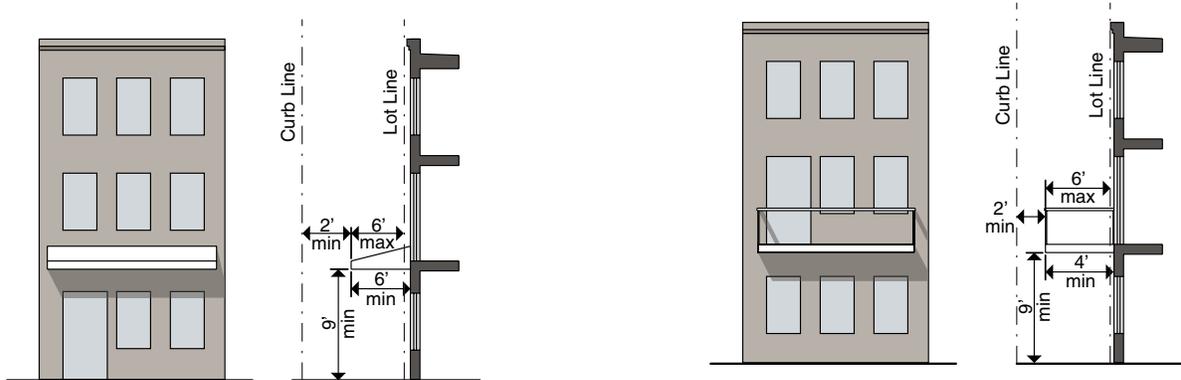
Garage door restrictions See Div. 8.19.1

Building Size Restrictions\*

Height	Set by district	<b>A</b>
Building area	3000 sq. ft. max	
Metal Storage Container may not be more than 10' in height or more than 200 sq. ft..		

### 8.18.1. Building Intent

The following standards are intended to ensure that certain building elements, that when added to a street-facing facade, are of sufficient size to be both usable and functional and be architecturally compatible with the building they are attached to.



### 8.18.2. Awning/Canopy

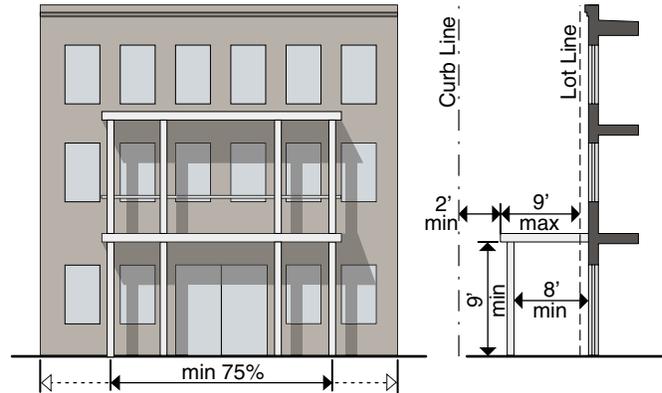
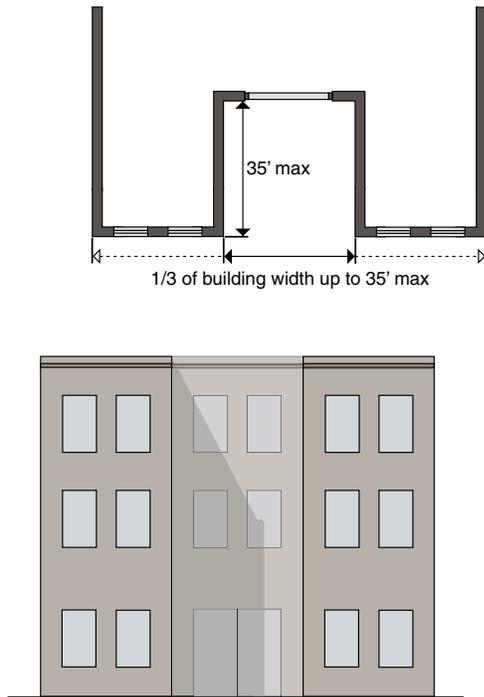
A wall-mounted, cantilevered structure providing shade and cover from the weather for a sidewalk.

- A. An awning/canopy must be a minimum of 9 feet clear height above the sidewalk and must have a minimum depth of 6 feet.
- B. An awning/canopy may extend into a primary or side street Setback.
- C. An awning/canopy may not encroach into the public right-of-way or dedicated easement.

### 8.18.3. Balcony

A platform projecting from the wall of an upper-story of a building with a railing along its outer edge, often with access from a door or window.

- A. A balcony must be at least 4 feet deep.
- B. A balcony must have a clear height above the sidewalk of at least 9 feet.
- C. A balcony may be covered and screened but cannot be fully enclosed.
- D. A balcony may extend into a primary or side street Setback.
- E. A balcony may not encroach into the public right-of-way or dedicated easement.



## 8.18.4. Forecourt

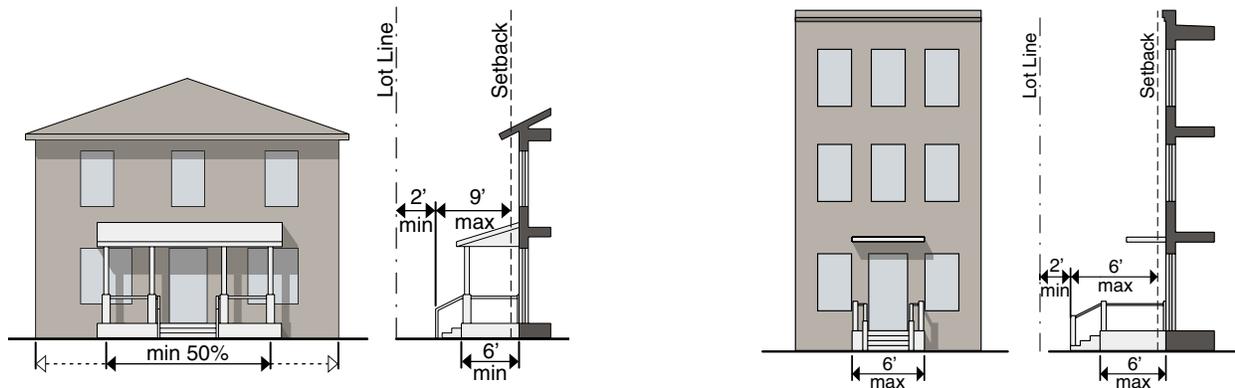
An open area at grade, or within 30 inches of grade, that serves as an open space, plaza, or outdoor dining area.

- A. A forecourt must be no more than one-third of the length of the building face and in no case longer than 35 feet in width.
- B. The depth of the forecourt must not exceed the general width. A forecourt may be no more than 35 feet in depth.
- C. A maximum of one forecourt is permitted per lot.
- D. A forecourt meeting the above requirements is considered part of the building for the purpose of measuring the build-to zone.

## 8.18.5. Gallery

A covered passage extending along the outside wall of a building supported by arches or columns that is open on 3 sides.

- A. A gallery must have a clear depth from the support columns to the building's facade of at least 8 feet and a clear height above the sidewalk of at least 9 feet.
- B. A gallery must be contiguous and extend over at least 75% of the width of the building facade from which it projects.
- C. A gallery may not extend into a primary or side street Setback.
- D. A gallery may not encroach into the public right-of-way or dedicated easement.



## 8.18.6. Porch

A raised structure attached to a building, forming a covered entrance to a doorway.

- A. A front porch must be at least 6 feet deep (not including the steps).
- B. A front porch must be contiguous, with a width not less than 50% of the building facade from which it projects.
- C. A front porch must be roofed, and may be screened, but cannot be fully enclosed.
- D. A front porch may extend up to 5 feet, including the steps, into a required front Setback provided that such extension is at least 5 feet from the vertical plane of any lot line.
- E. A front porch may not encroach into the public right-of-way or easement.

## 8.18.7. Stoop

A small raised platform that serves as an entrance to a building.

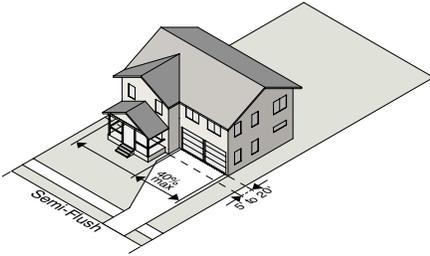
- A. A stoop must be no more than 6 feet deep (not including the steps) and 6 feet wide.
- B. A stoop may be covered but cannot be fully enclosed.
- C. A stoop may extend up to 5 feet, including the steps, into a required Setback provided that such extension is at least 5 feet from the vertical plane of any lot line.
- D. A stoop may not encroach into the public right-of-way or easement.

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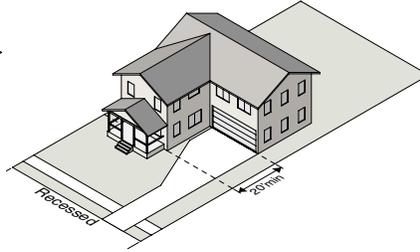
## 8.19.1. Residential Garage Parking

### A. Type 1

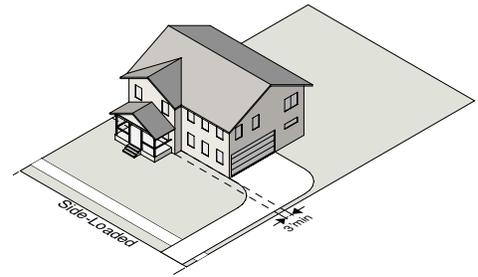
Detached house, backyard cottage, cottage court, duplex, attached house, four-plex, and shopfront house on lots of less than 1 acre, garage placement must match one of the following:



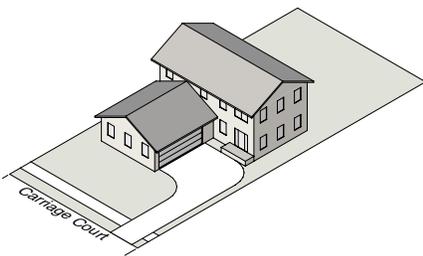
**Semi-Flush.** Garage doors are oriented toward the street. Garage doors must be positioned between 5 and 20 feet behind the front wall plane of the house, extending no more than 40% of the width of the house. No individual garage door may exceed 12 feet in width.



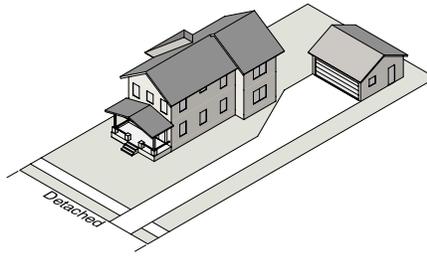
**Recessed.** Garage doors are oriented toward the street. Garage doors must be positioned at least 20 feet behind the front wall plane of the house. There is no restriction on garage door width.



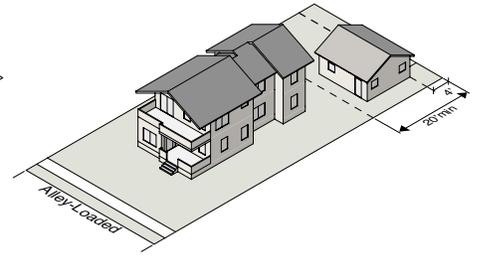
**Side-Loaded.** Garage doors are oriented perpendicular to the front wall plane. Any wall of the garage must be located at least 3 feet behind the front wall plane of the house.



**Carriage Court.** Garage doors are oriented perpendicular to the front wall plane. Garage is located entirely in front of the house.



**Detached.** Garage is placed entirely to the rear of the house.

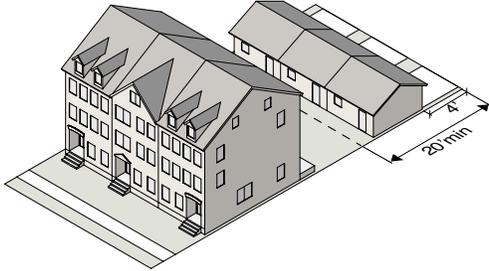


**Alley-Loaded.** Garage is placed entirely to the rear of the house and is alley-accessed. Garage doors must face the alley. The garage must either be located 4 feet from the alley right-of-way or be a minimum of 20 feet from the alley right-of-way. Where parking spaces are located between the garage and the alley, the garage must be located at least 20 feet from the alley right-of-way.

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## B. Type 2

For townhouse and live work, garage placement must meet the following.



1. Garage is placed entirely to the rear and is rear-accessed. Garage may be attached or detached.
2. Garage doors must face the rear alley or easement.
3. The garage must either be located 4 feet from the rear right-of-way or easement line or be a minimum of 20 feet from the rear right-of-way or easement line.

encroach on the sidewalk. Garage doors must be Set back at least 20 feet from the sidewalk.

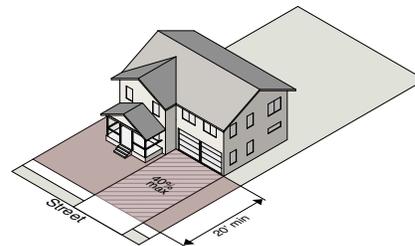
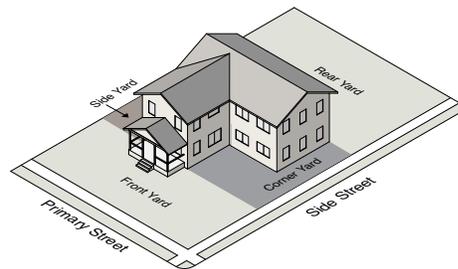
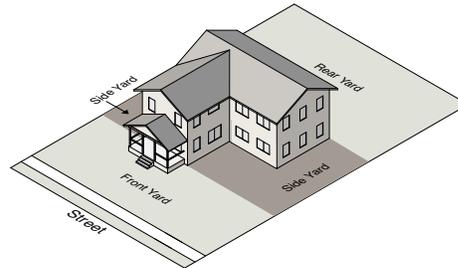
## B. Tandem Parking

1. Tandem parking is allowed for residential uses.
2. Two parking spaces in tandem must have a combined minimum dimension of 9 feet in width by 36 feet in length.
3. Both parking spaces in tandem must be assigned to the same dwelling unit.
4. Tandem parking may not be used to provide guest parking.

## 8.19.2. Residential Parking Location

### A. Parking in the Front or Corner Yard

1. In all detached house, duplex, and attached house lots, parking in the front or corner yard is allowed only on a hard-surfaced driveway (i.e., asphalt, concrete, gravel, or if approved by the Planning Administrator, a turf-reinforced driveway). No parking is allowed in grass or lawn areas, except in Rural Districts.
2. Combined parking and driveway area cannot constitute more than 40% of the front or corner yard.
3. Any parking in the front or corner yard must have sufficient depth so that parked cars do not



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