

Article 4

Residential Districts

NOTE: The Residential Zoning Districts are intended for use in the Area of City Impact only. Property in an Area of City Impact may be rezoned to a Residential District only after agreed to by both the County and City in accordance with Idaho Code 67-6526.

Article 4 - Residential Districts

Div. 4.1. RS-16: Residential Single-Family 4-3

- 4.1.1. Intent..... 4-3
- 4.1.2. Lot Dimensions..... 4-3
- 4.1.3. Building Placement 4-4
- 4.1.4. Building Height..... 4-4

Div. 4.2. RS-7: Single-Family & Two-Family 4-5

- 4.2.1. Intent..... 4-5
- 4.2.2. Lot Dimensions..... 4-5
- 4.2.3. Building Placement 4-6
- 4.2.4. Building Height..... 4-6

Div. 4.3. RS-5: Single-Family & Two-Family 4-7

- 4.3.1. Intent..... 4-7
- 4.3.2. Lot Dimensions..... 4-7
- 4.3.3. Building Placement 4-8
- 4.3.4. Building Height..... 4-8

Div. 4.4. RS-3: Single-Family & Two-Family 4-9

- 4.4.1. Intent..... 4-9
- 4.4.2. Lot Dimensions..... 4-9
- 4.4.3. Building Placement 4-10
- 4.4.4. Building Height..... 4-10

Div. 4.5. RM-1: Residential Multi-Family 4-11

- 4.5.1. Intent..... 4-11
- 4.5.2. Lot Dimensions..... 4-11
- 4.5.3. Building Placement 4-12
- 4.5.4. Building Height..... 4-12

Div. 4.6. RM-2: Residential Multi-Family 4-13

- 4.6.1. Intent..... 4-13
- 4.6.2. Lot Dimensions..... 4-13
- 4.6.3. Building Placement 4-14
- 4.6.4. Building Height..... 4-14

*This page intentionally
left blank.*

Div. 4.1. RS-16: Residential Single Family

PZC Public Review Draft - August 2016

NOTE: The Residential Zoning Districts are intended for use in the Areas of City Impact only. Properties in an Area of City Impact may be rezoned to a Residential District only after agreed to by both the County and City in accordance with Idaho Code 67-6526.

4.1.1. Intent



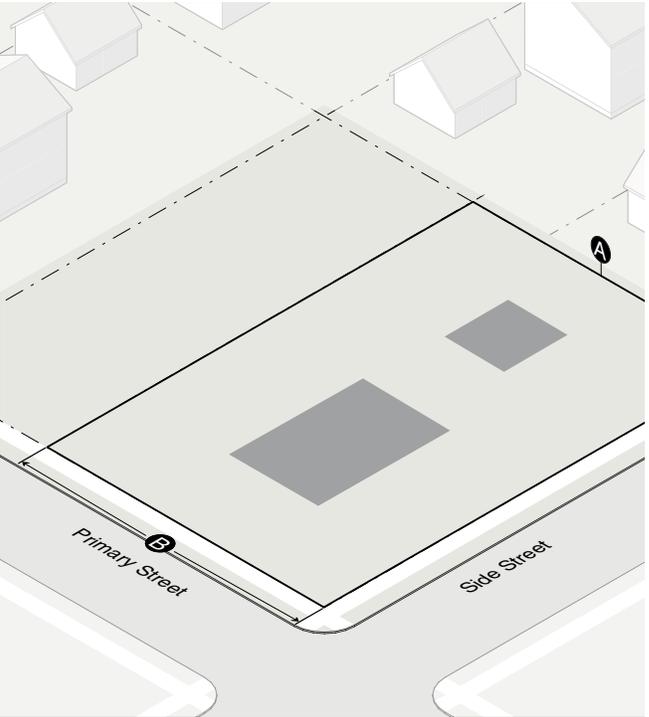
Description

RS-16 is intended to accommodate existing single-family detached houses with a minimum lot size of 16,000 square feet. RS-16 is applied in areas where the land use pattern is predominately single-family that is served by central water and sewer facilities or where such land use pattern is desired in the future. Uses that would substantially interfere with the residential nature of the district are not allowed.

Building Types Allowed

Detached house	See also Div. 8.2
Backyard cottage	See also Div. 8.3

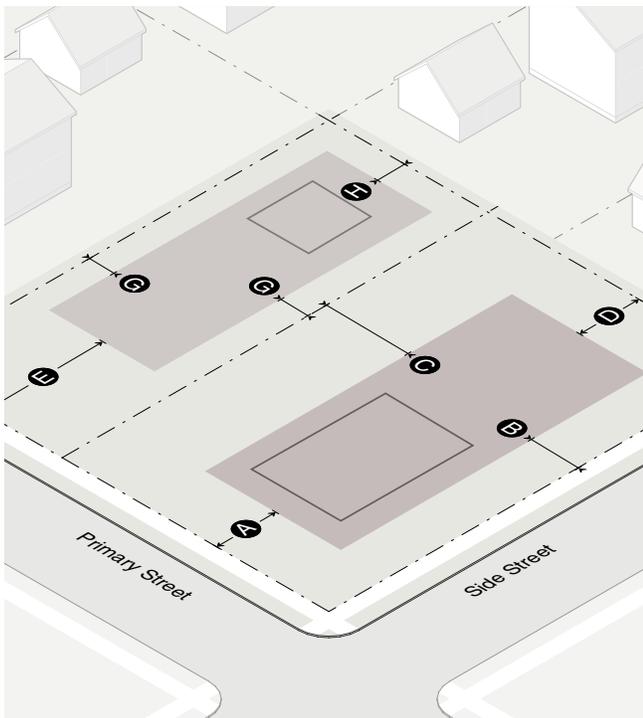
4.1.2. Lot Dimensions



Lot	A Area	B Width
Detached house	16,000 SF min	75' min
Flag lot	16,000 SF min	30' min
Backyard cottage	16,000 SF min	75' min
Coverage		
Lot coverage		50% max

PZC Public Review Draft - August 2016

4.1.3. Building Placement



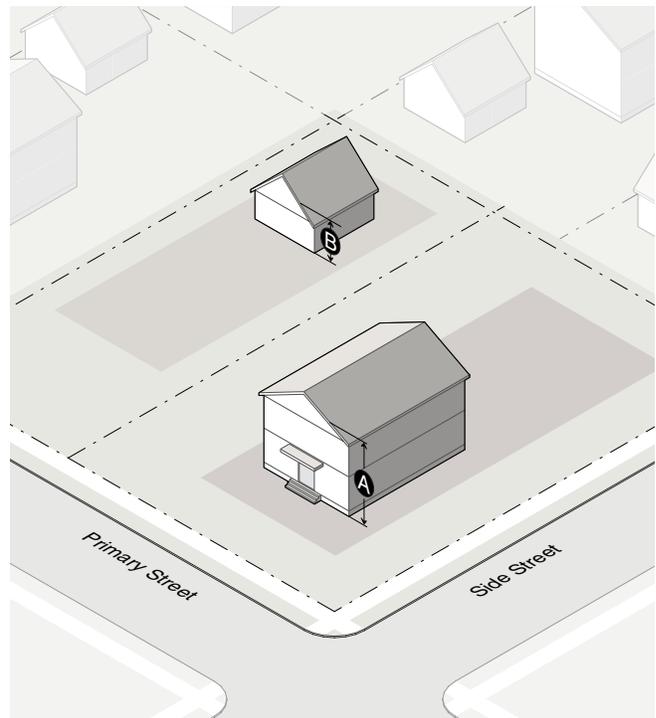
Principal Building Setbacks

Primary street	25' min or Avg. front setback (Div. 2.2.5)	A
Side street	20' min	B
Side interior	10' min	C
Rear	25' min	D

Accessory Structure Setbacks

Primary street	40' min	E
Side street	20' min	F
Side interior	10' min	G
Rear	10' min	H

4.1.4. Building Height



Height

Principal building	30'	A
Accessory structure	24' max	B

NOTE: The Residential Zoning Districts are intended for use in the Areas of City Impact only. Properties in an Area of City Impact may be rezoned to a Residential District only after agreed to by both the County and City in accordance with Idaho Code 67-6526.

PZC Public Review Draft - August 2016

4.2.1. Intent



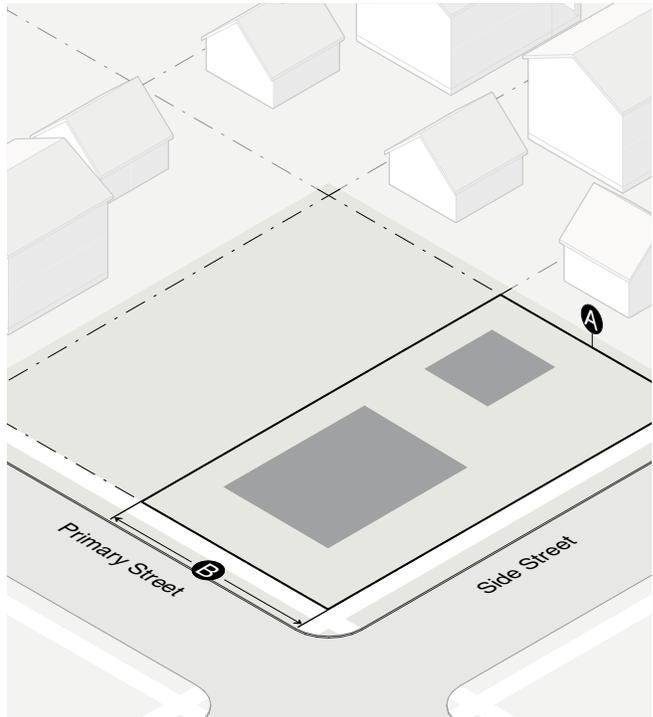
Description

RS-7 is primarily intended to accommodate single-family detached houses with a minimum lot size of 7,000 square feet. Additional building types are allowed that include backyard cottage, cottage court, duplex, and attached house. RS-7 should be applied in areas where the land use pattern is predominately single- or two-family that is served by central water and sewer facilities or where such land use pattern is desired in the future. Uses that would substantially interfere with the residential nature of the district are not allowed.

Building Types Allowed

Detached house	See also Div. 8.2
Backyard cottage	See also Div. 8.3
Cottage court	See also Div. 8.4
Duplex: side by side	See also Div. 8.5
Duplex: back to back	See also Div. 8.6
Attached house	See also Div. 8.7

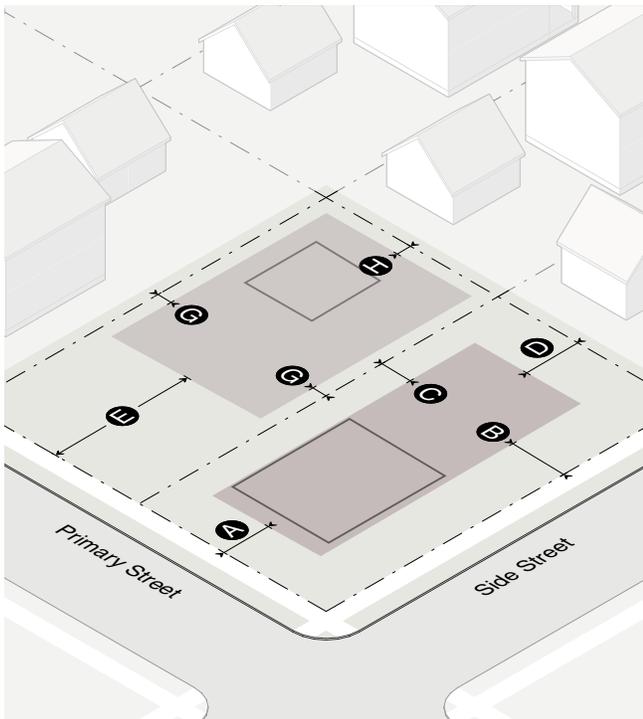
4.2.2. Lot Dimensions



Lot	A Area	B Width
Detached house	7,000 SF min	65' min
Flag lot	7,000 SF min	30' min
Backyard cottage	7,000 SF min	65' min
Cottage court	1,200 SF min	20' min
Duplex: side by side	9,000 SF min	75' min
Duplex: back to back	9,000 SF min	65' min
Attached house	4,500 SF min	35' min
Coverage		
Lot coverage		60% max

PZC Public Review Draft - August 2016

4.2.3. Building Placement



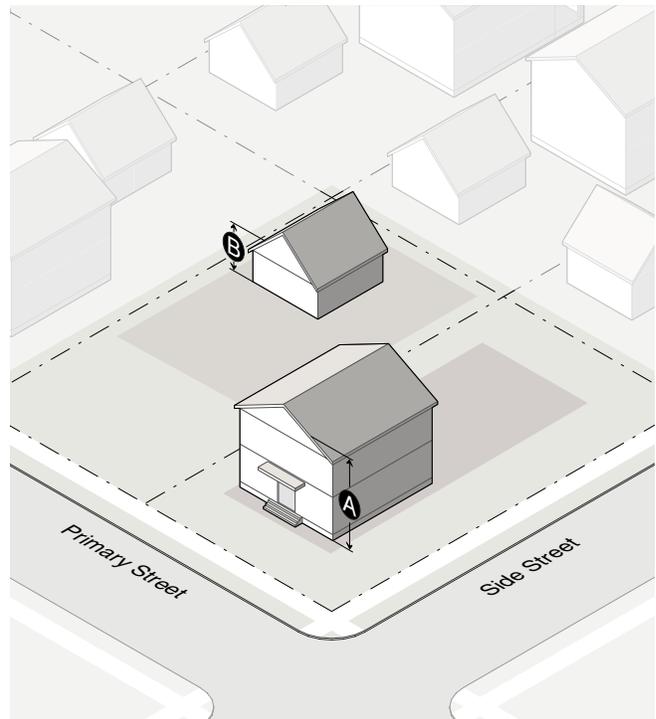
Principal Building Setbacks

Primary street	15' min or Avg. front setback (Div. 2.2.5)	A
Side street	20' min	B
Side interior	10' min	C
Rear	20' min	D
Rear, abutting alley	4' or 20' min	D

Accessory Structure Setbacks

Primary street	40' min	E
Side street	20' min	F
Side interior	5' min	G
Rear	5' min	H
Rear, abutting alley	4' or 20' min	H

4.2.4. Building Height



Height

Principal building	30'	A
Accessory structure	24' max	B

Div. 4.3. RS-5: Single-Family & Two-Family

NOTE: The Residential Zoning Districts are intended for use in the Areas of City Impact only. Properties in an Area of City Impact may be rezoned to a Residential District only after agreed to by both the County and City in accordance with Idaho Code 67-3526.

PZC Public Review Draft - August 2016

4.3.1. Intent



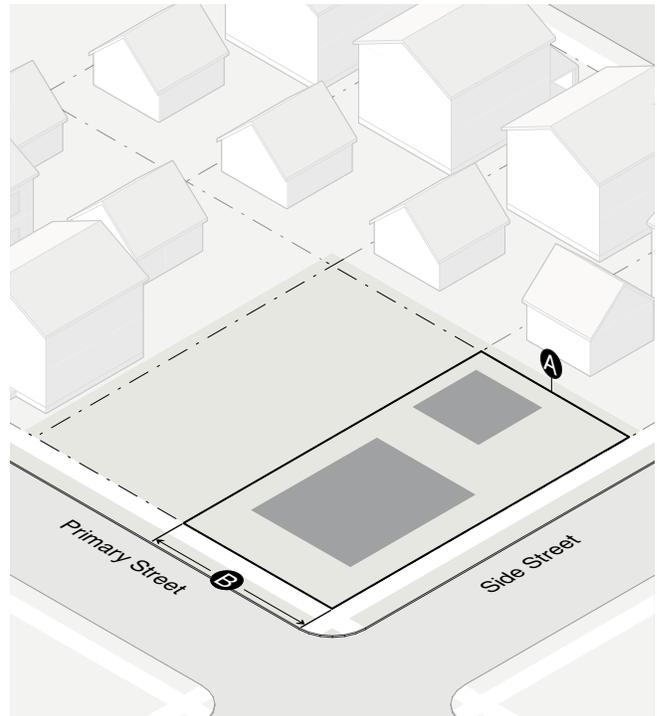
Description

RS-5 is primarily intended to accommodate single-family detached houses with a minimum lot size of 5,000 square feet. Additional building types are allowed that include backyard cottage, cottage court, duplex, and attached house. RS-5 should be applied in areas where the land use pattern is predominately single-family or two-family that is served by central water and sewer facilities or where such land use pattern is desired in the future. Uses that would substantially interfere with the residential nature of the district are not allowed.

Building Types Allowed

Detached house	See also Div. 8.2
Backyard cottage	See also Div. 8.3
Cottage court	See also Div. 8.4
Duplex: side by side	See also Div. 8.5
Duplex: back to back	See also Div. 8.6
Attached house	See also Div. 8.7

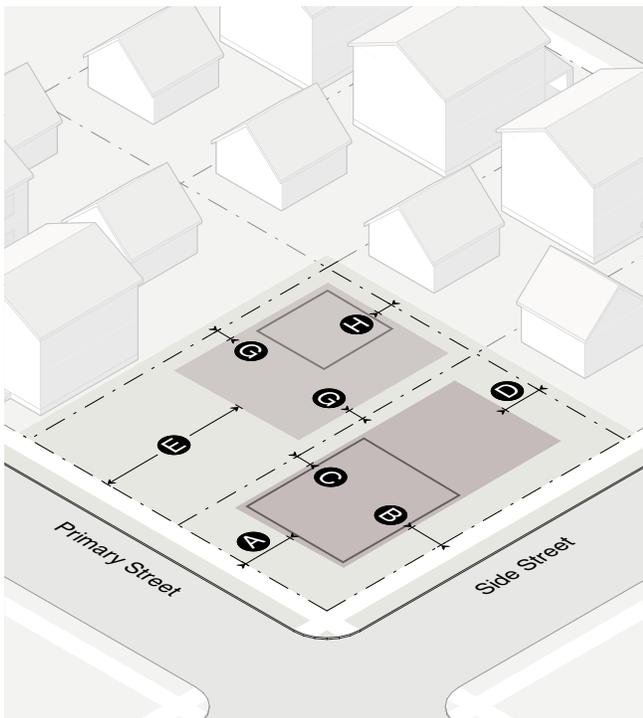
4.3.2. Lot Dimensions



Lot	A Area	B Width
Detached house	5,000 SF min	50' min
Flag lot	5,000 SF min	30' min
Backyard cottage	5,000 SF min	50' min
Cottage court	1,200 SF min	20' min
Duplex: side by side	7,000 SF min	65' min
Duplex: back to back	7,000 SF min	50' min
Attached house	3,500 SF min	30' min
Coverage		
Lot coverage		60% max

PZC Public Review Draft - August 2016

4.3.3. Building Placement



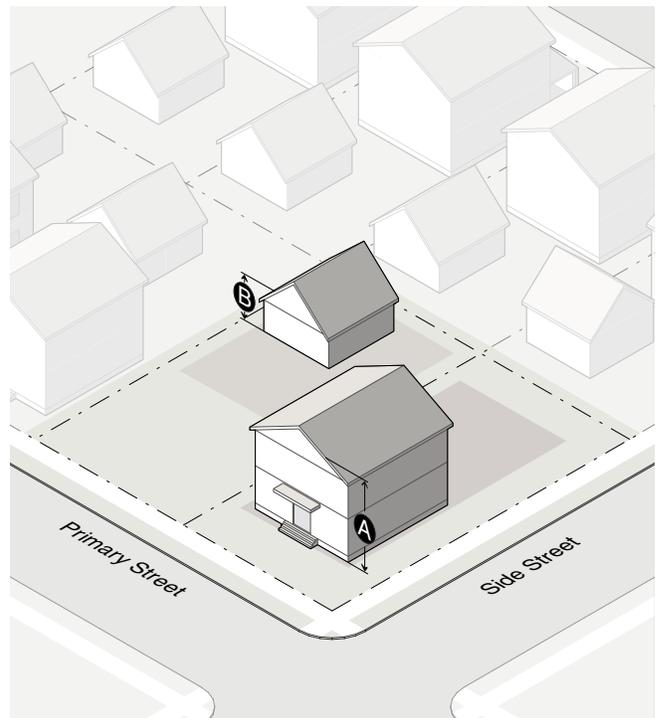
Principal Building Setbacks

Primary street	15' min or Avg. front setback (Div. 2.2.5)	A
Side street	10' min	B
Side interior	7' min	C
Rear	15' min	D
Rear, abutting alley	4' or 20' min	D

Accessory Structure Setbacks

Primary street	40' min	E
Side street	10' min	F
Side interior	5' min	G
Rear	5' min	H
Rear, abutting alley	4' or 20' min	H

4.3.4. Building Height



Height

Principal building	30'	A
Accessory structure	24' max	B

NOTE: The Residential Zoning Districts are intended for use in the Areas of City Impact only. Properties in an Area of City Impact may be rezoned to a Residential District only after agreed to by both the County and City in accordance with Idaho Code 67-5526.

4.4.1. Intent



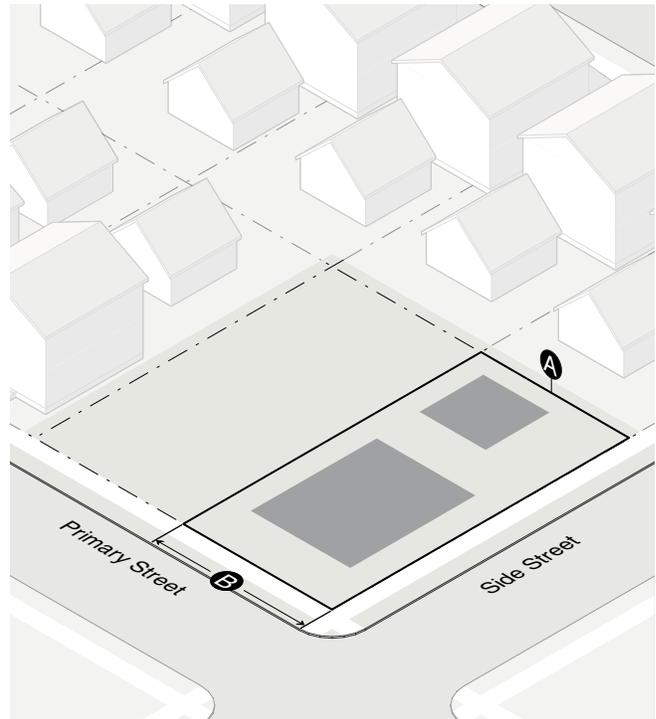
Description

RS-3 is primarily intended to accommodate single-family detached houses with a minimum lot size of 3,000 square feet. Additional building types are allowed that include backyard cottage, cottage court, duplex, and attached house. RS-3 should be applied in areas where the land use pattern is predominately single-or two-family that is served by central water and sewer facilities or where such land use pattern is desired in the future. Uses that would substantially interfere with the residential nature of the district are not allowed.

Building Types Allowed

Detached house	See also Div. 8.2
Backyard cottage	See also Div. 8.3
Cottage court	See also Div. 8.4
Duplex: side by side	See also Div. 8.5
Duplex: back to back	See also Div. 8.6
Attached house	See also Div. 8.7

4.4.2. Lot Dimensions



Lot	A Area	B Width
Detached house	3,000 SF min	30' min
Backyard cottage	3,000 SF min	30' min
Cottage court	1,200 SF min	20' min
Duplex: side by side	5,000 SF min	50' min
Duplex: back to back	5,000 SF min	30' min
Attached house	2,500 SF min	25' min

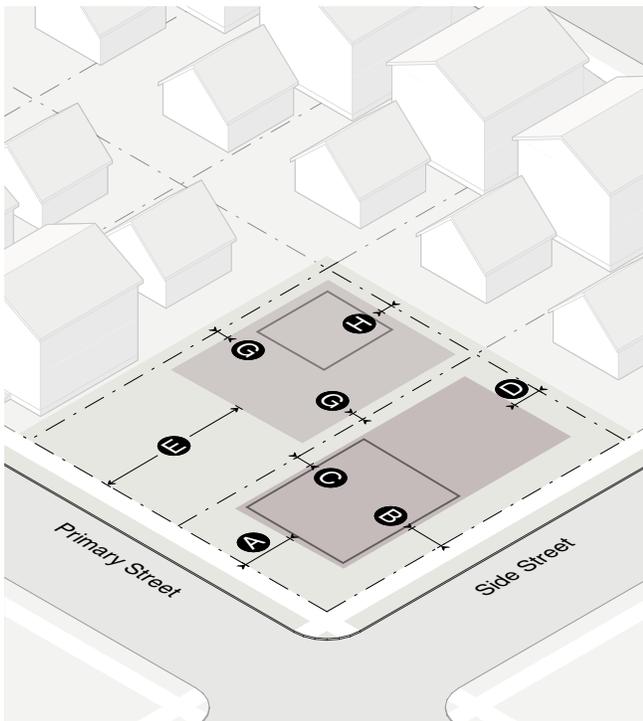
All lots 40 feet or less in width are required to take vehicular access from a rear alley, except cottage courts.

Coverage

Lot coverage	70% max
--------------	---------

PZC Public Review Draft - August 2016

4.4.3. Building Placement



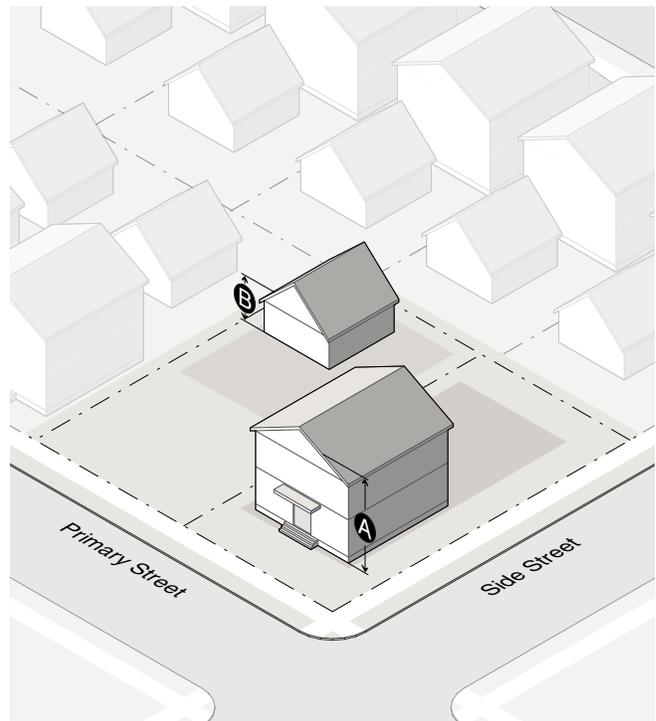
Principal Building Setbacks

Primary street	15' min or Avg. front setback (Div. 2.2.5)	A
Side street	10' min	B
Side interior	7' min	C
Rear	10' min	D
Rear, abutting alley	4' or 20' min	D

Accessory Structure Setbacks

Primary street	40' min	E
Side street	10' min	F
Side interior	7' min	G
Rear	3' min	H
Rear, abutting alley	4' or 20' min	H

4.4.4. Building Height



Height

Principal building	30'	A
Accessory structure	24' max	B

Div. 4.5. RM-1: Residential Multi-Family

NOTE: The Residential Zoning Districts are intended for use in the Areas of City Impact only. Properties in an Area of City Impact may be rezoned to a Residential District only after agreed to by both the County and City in accordance with Idaho Code 67-5526.

PZC Public Review Draft - August 2016

4.5.1. Intent



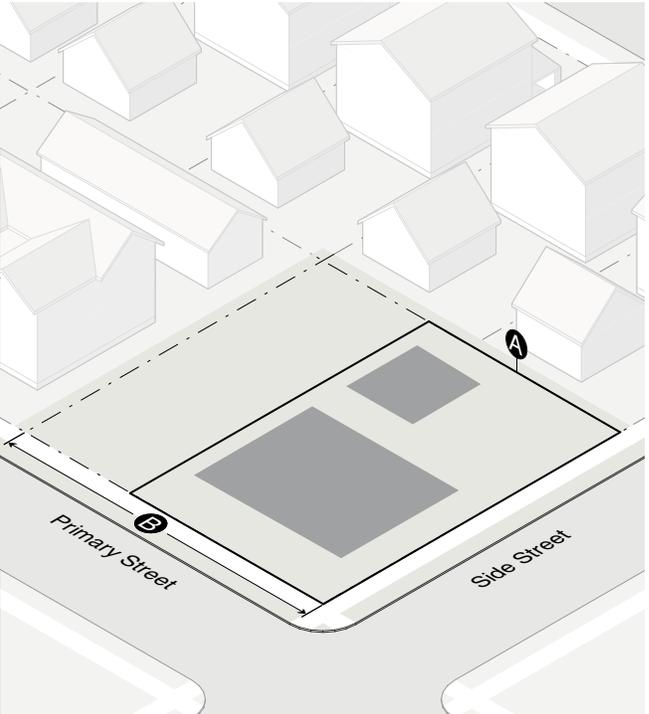
Description

RM-1 is intended to accommodate a variety of residential options including single-family, two-family, and multifamily (up to 4 units). Building type options include detached house, backyard cottage, cottage court, duplex, attached house, and four-plex. RM-1 should be applied in areas where the existing or proposed land use pattern allows for a variety of housing options. Uses that would substantially interfere with the residential nature of the district are not allowed.

Building Types Allowed

Detached house	See also Div. 8.2
Backyard cottage	See also Div. 8.3
Cottage court	See also Div. 8.4
Duplex: side by side	See also Div. 8.5
Duplex: back to back	See also Div. 8.6
Attached house	See also Div. 8.7
Four-plex	See also Div. 8.8

4.5.2. Lot Dimensions



Lot	A Area	B
-----	--------	---

Detached house	3,000 SF min	30' min
Backyard cottage	3,000 SF min	30' min
Cottage court	1,200 SF min	20' min
Duplex: side by side	5,000 SF min	50' min
Duplex: back to back	5,000 SF min	30' min
Attached house	2,500 SF min	25' min
Four-plex	7,000 SF min	65' min

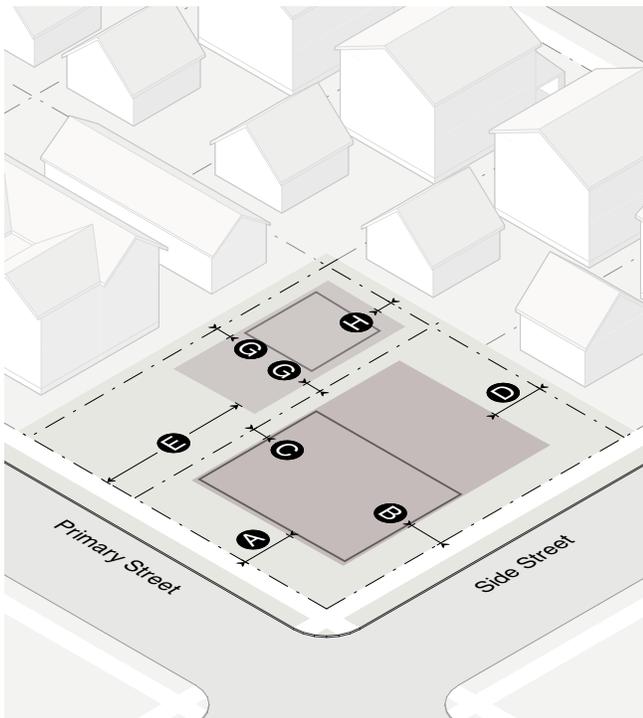
All lots 40 feet or less in width are required to take vehicular access from a rear alley, except cottage courts.

Coverage

Lot coverage	70% max
--------------	---------

PZC Public Review Draft - August 2016

4.5.3. Building Placement



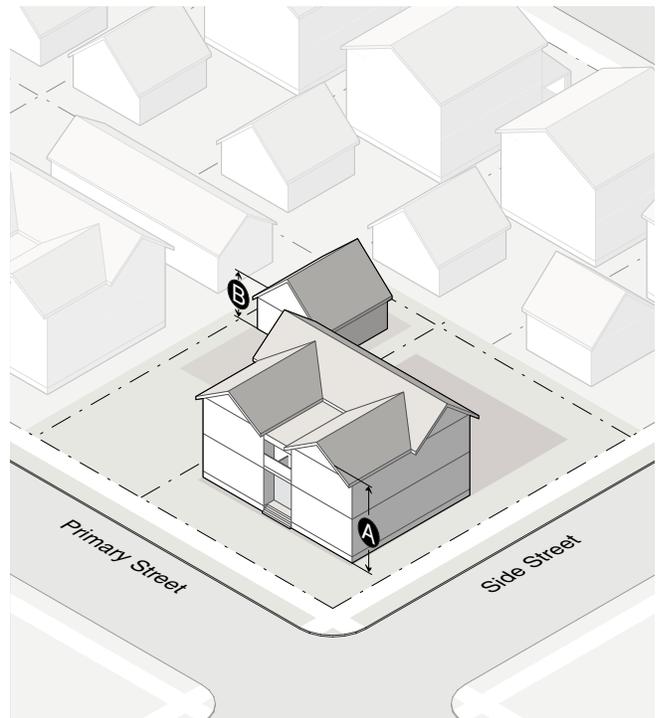
Principal Building Setbacks

Primary street	15' min	A
Side street	10' min	B
Side interior	7' min	C
Rear	15' min	D
Rear, abutting alley	4' or 20' min	D

Accessory Structure Setbacks

Primary street	40' min	E
Side street	10' min	F
Side interior	7' min	G
Rear	5' min	H
Rear, abutting alley	4' or 20' min	H

4.5.4. Building Height



Height

Principal building	30'	A
Accessory structure	24' max	B

Div. 4.6. RM-2: Residential Multi-Family

NOTE: The Residential Zoning Districts are intended for use in the Areas of City Impact only. Properties in an Area of City Impact may be rezoned to a Residential District only after agreed to by both the County and City in accordance with Idaho Code 67-6526.

PZC Public Review Draft - August 2016

4.6.1. Intent



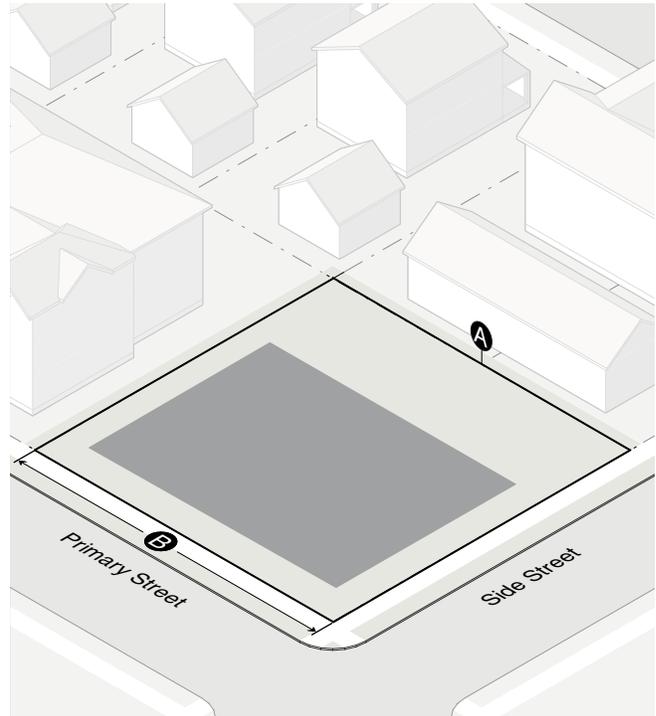
Description

RM-2 is intended to accommodate a variety of residential options including single-family, two-family, and multifamily. Building type options include detached house, backyard cottage, cottage court, duplex, attached house, four-plex, townhouse, and apartment. RM-2 should be applied in areas where the existing or proposed land use pattern allows for a variety of residential options. Uses that would substantially interfere with the residential nature of the district are not allowed.

Building Types Allowed

Detached house	See also Div. 8.2
Backyard cottage	See also Div. 8.3
Cottage court	See also Div. 8.4
Duplex: side by side	See also Div. 8.5
Duplex: back to back	See also Div. 8.6
Attached house	See also Div. 8.7
Four-plex	See also Div. 8.8
Townhouse	See also Div. 8.9
Apartment	See also Div. 8.10

4.6.2. Lot Dimensions



Lot	A Area	B Width
Detached house	3,000 SF min	30' min
Backyard cottage	3,000 SF min	30' min
Cottage court	1,200 SF min	20' min
Duplex: side by side	5,000 SF min	50' min
Duplex: back to back	5,000 SF min	30' min
Attached house	2,500 SF min	25' min
Four-plex	7,000 SF min	65' min
Townhouse	1,500 SF min	20' min
Apartment	10,000 SF min	70' min

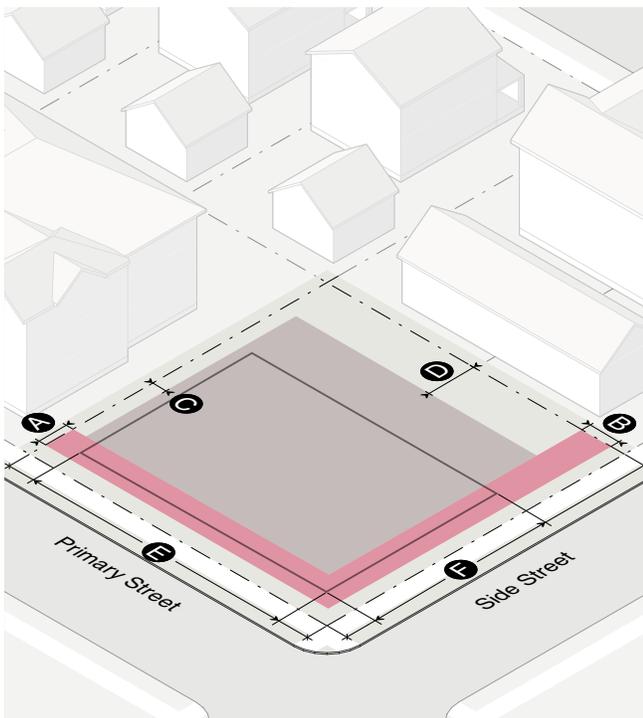
All lots 40 feet or less in width are required to take vehicular access from a rear alley, except cottage courts.

Coverage

Lot coverage	70% max
--------------	---------

PZC Public Review Draft - August 2016

4.6.3. Building Placement



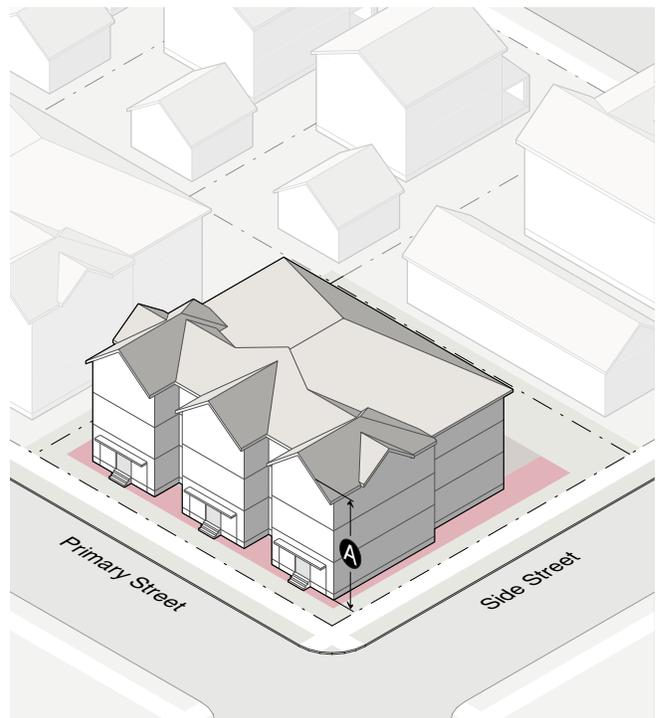
Building and Structure Setbacks

Primary street	5' min / 15' max	A
Side street	5' min / 15' max	B
Side interior	7' min	C
Rear	15' min	D
Rear, abutting alley	4' or 20' min	D

Build-to Zone (BTZ)

Building facade in primary street BTZ (% of lot width)	60% min	E
Building facade in side street BTZ (% of lot width)	30% min	F

4.6.4. Building Height



Height

All buildings and structures	30'	A
------------------------------	-----	----------

*This page intentionally
left blank.*